
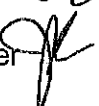


**CITY OF HOLLYWOOD, FLORIDA  
INTER-OFFICE MEMORANDUM  
PLANNING & DEVELOPMENT SERVICES**

**DATE:** November 10, 2011 **FILE:** 11-DP-30

**TO:** Planning & Development Board

**VIA:** Andria Wingett, Planning Manager 

**FROM:** Julie Krolak, Principal Planner 

**SUBJECT:** John Glorieux requests Design and Site Plan for an approximate 9,500 sq. ft. Pet Lodge at 2604 Federal Highway.

**REQUEST**

Design and Site Plan for an approximate 9,500 sq. ft. Pet Lodge.

**RECOMMENDATION**

Design: Approval.

Site Plan: Approval, if Design is granted.

**REQUEST**

The request before the Board is for Design and Site Plan approval for construction of a pet lodge on Federal Highway near Port Everglades. The site, now vacant, was home to the Gold Coast Skating Rink for a number of years until its demolition several months ago. The applicants have several years experience operating similar facilities, as they own the Pompano Pet Lodge and would like to expand into the City of Hollywood. Located proximate to Port Everglades and the Fort Lauderdale/Hollywood International Airport, they owners' goal is to provide service to travelers using both of these facilities.

As proposed, the 9,500 sq ft pet lodge encompasses 2 main buildings where administrative and pet care services will take place. Additionally, 14 kennel structures (including 140 dog "runs") will be incorporated along the sides of the lot to house dogs when staying at the facility. The kennels will surround two separate, shaded play areas for dogs internal to the site. Each area will include a fountain/pool for dogs to cool off while playing. (See Attachment "A", SP-1) Additionally, the City's Animal Control Officer has reviewed the project and will continue working with the applicant to ensure all applicable Codes are being met with regards to day-to-day operations.

Parking will be provided in a new lot at the front of the site. This new design will improve the parking conditions, as the previous skating rink had head-in/back-out parking. Picket fencing will be used at the front of the lot for screening, while the sides and rear will include vinyl coated chain link fencing. Additionally, landscaping will be incorporated at the front and within play areas.

#### **SITE INFORMATION**

**Owner/Applicant:** John Glorieux  
**Address/Location:** 2604 Federal Highway  
**Net Size of Property:** 40,535 sq ft (0.93 acres)  
**Future Land Use:** General Business  
**Zoning:** Medium Intensity Industrial and Manufacturing (IM-3)  
**Existing Use of Land:** Vacant (previous location of Skating Rink)

#### **ADJACENT LAND USE**

**North:** General Business  
**South:** Transportation  
**East:** Transportation  
**West:** Transportation

#### **ADJACENT ZONING**

**North:** Medium Intensity Industrial and Manufacturing (IM-3)  
**South:** Medium Intensity Industrial and Manufacturing (IM-3)  
**East:** Medium Intensity Industrial and Manufacturing (IM-3)  
**West:** Medium Intensity Industrial and Manufacturing (IM-3)

#### **CONSISTENCY WITH THE COMPREHENSIVE PLAN**

This development is consistent with the Comprehensive Plan, based upon the following policies:

The General Business Land Use designation as identified in the Land Use Element permits uses such as the proposed Pet Lodge.

***Objective 4: Maintain and enhance neighborhoods, business, utilities, industrial and tourist areas that are not blighted.***

The proposed project achieves the Goals and Objectives outlined in the Land Use Element by allowing for construction of a new business within the city. This construction will allow the applicant to improve their property with a new business. Additionally, they will be improving parking conditions with additional and internal lot and landscaping.

## CONSISTENCY WITH THE CITY-WIDE MASTER PLAN

This property is located in Sub-Area 5, which includes Port Everglades, the north portion of West Lake Park and John U. Lloyd State Park. This Sub-Area is defined by Atlantic Ocean to the east, Sheridan Street to the south, SR 84 to the north with an irregular boundary to the west.

The City-Wide Master Plan identifies Port Everglades as a key economic agent by providing a full range of facilities and services related to the cargo, warehousing and cruising industries. In addition, Port Everglades' physical advantages to economic expansion include proximity to several transportation hubs, the deepest port in Florida and a short entry channel. The City-Wide Master Plan supports the economic expansion of Port Everglades and the protection of environmental sensitive land and parks. Site improvements and expansion of the existing terminal is consistent with its vision based upon the following Policy:

*Policy 5.5: Support and promote projects that will increase fees or revenues to the City of Hollywood from Port Everglades.*

This project will increase opportunities surrounding Port Everglades by providing additional commercial business along the Federal Highway corridor. Located proximate to Port Everglades and the Fort Lauderdale/Hollywood International Airport, they owners' goal is to provide service to travelers using both of these facilities. By creating more economic opportunities, these uses are consistent with those existing within Port Everglades.

## ANALYSIS OF CRITERIA AND FINDINGS FOR DESIGN

Analysis of Criteria and Findings for Design as stated in the City of Hollywood Zoning and Land Development Regulations, Article 5.3(l)(4). Approval, Approval with Conditions, or Denial will be based on the following criteria:

**CRITERION 1:** Architectural and Design components. Architecture refers to the architectural elements of exterior building surfaces. Architectural details should be commensurate with the building mass. The use of traditional materials for new architectural details is recommended. Design of the building(s) shall consider aesthetics and functionality, including the relationship of the pedestrian with the built environment.

**ANALYSIS:** The proposed project includes construction of an approximate 9,500 sq ft pet lodge. The layout encompasses 2 main buildings where administrative and pet care services will take place. Additionally, 14 kennel structures (including 140 dog "runs") will be incorporated along the sides of the lot to house dogs when staying at the facility. The kennels will surround two separate, shaded play areas for dogs internal to the site. Each area will include a fountain/pool for dogs to cool off while playing. All A/C units will be located on roofs with parapets used as screening.

According to the architect, "We decided to employ a simple, clean, and very functional Architectural Design that would attract the attention of the passerby with its simplicity, and convey to the public the character, standards, and mission of our pet lodging services." The design is

sensitive to the surrounding neighborhood and materials used are consistent with the Design Guidelines. "On the exterior of the Buildings we are using traditional building materials compatible with the South Florida region. Stucco (painted white), clear glass, and standing seams metal roof with natural galvanized finish (not painted)," states that applicant.

**FINDING:** Consistent.

**CRITERION 2:** Compatibility. The relationship between existing architectural styles and proposed construction, including how each building along the street relates to the whole and the pattern created with adjacent structures and the surrounding neighborhood. Buildings should contain architectural details that are characteristic of the surrounding neighborhood.

**ANALYSIS:** The Design Guidelines state that *"new construction should differentiate itself from neighboring buildings in terms of architectural style while the scale, rhythm, height and setbacks as well as the location of windows, doors and balconies bear some relationship to neighboring buildings and maintain some resemblance of compatibility."* The proposed project is located on the outskirts of Port Everglades. Surrounding developments fronting Federal Highway are commercial in nature, with Port-associated uses such as large gasoline holding tanks to the rear. The proposed pet lodge will replace the previous dilapidated skating rink to provide fresh architecture for the Federal Highway corridor. Also included in the scope of work are a new parking lot and landscaping.

**FINDING:** Consistent.

**CRITERION 3:** Scale/Massing. Buildings shall be proportionate in scale, with a height which is consistent with the surrounding structures. Building mass shall reflect a simple composition of basic architectural details in relation to its length, width, height, lot coverage, and setting of the structure in context with adjacent buildings. Architectural details include, but are not limited to, banding, molding, and fenestration.

**ANALYSIS:** The design includes a maximum height of approximately 42', while the zoning district (IM-3) would allow up to 100'. The proposed height will be proportionate with surrounding sites, which are mainly one-story structures. As stated by the architect, "Our buildings (like the existing surrounding structures) are one story in height but the rooflines vary and have different heights to avoid the warehouse "box" look." Architectural details include eyebrows, variations in height, and the use of colors and materials to break up the massing of the structure. Proposed materials are consistent with the Design Guidelines.

**FINDING:** Consistent.

**CRITERION 4:** Landscaping. Landscaped areas should contain a variety of native and other compatible plant types and forms, and be carefully integrated with existing buildings and paved areas. Existing mature trees and other significant plants on the site should be preserved.

**ANALYSIS:** As stated in the Design Guidelines, *"A landscape plan should reflect and enhance a building's architecture, but not overpower it."* The applicant is proposing trees around the front parking area and internal to the site. . Materials to be used include a variety of trees, palms, and shrubs such as Live Oak, Crape Myrtle, Montgomery palms and Cocoplum hedges. As stated by the architect, "Our parking area is separated from the street by 15 foot wide landscape buffer. The landscaping plan was prepared by a Florida registered Landscape architect. Said plan incorporates a variety of native and other compatible plant types with an irrigation system." Although there is minimal existing vegetation, the applicant will work with staff to replace, relocate and mitigate trees in accordance with City regulations.

**FINDING:** Consistent.

## **SITE PLAN**

A final site plan was reviewed by the Technical Advisory Committee (TAC) and comments were made by members of the TAC in a staff report dated August 1, 2011. The comments were addressed by the applicant, who then obtained the signatures of each TAC member signifying Site Plan compliance with all regulations as set forth in Chapter 162 of the Hollywood Code of Ordinances, if Design is granted.

## **RECOMMENDATION**

Design: Approval.

Site Plan: Approval, if Design is granted.

## **ATTACHMENTS**

ATTACHMENT A: Application Package

ATTACHMENT B: Land Use and Zoning Map

# ATTACHMENT A

## Application Package

## OFFICE OF PLANNING



File No. (to be filled by the Office of Planning):

11-DP-30

2600 Hollywood Boulevard Room 315  
Hollywood, FL 33022

## GENERAL APPLICATION



Tel: (954) 921-3471  
Fax: (954) 921-3347

*This application must be completed in full and submitted with all documents to be placed on a Board or Committee's agenda.*

*The applicant is responsible for obtaining the appropriate checklist for each type of application.*

*Applicant(s) or their authorized legal agent must be present at all Board or Committee meetings.*

*At least one set of the submitted plans for each application must be signed and sealed (i.e. Architect or Engineer).*

*Documents and forms can be accessed on the City's website at*

*[http://www.hollywoodfl.org/comm\\_planning/appforms.htm](http://www.hollywoodfl.org/comm_planning/appforms.htm)*



## APPLICATION TYPE (CHECK ONE):

- ☒ Development Review Board ☐ Historic Preservation Board  
☐ Planning and Zoning Board ☐ Technical Advisory Committee  
☐ City Commission

Date of Application: OCT 5 11:42 AM '05

Location Address: 2604 FEDERAL HIGHWAY

Lot(s): \_\_\_\_\_ Block(s): \_\_\_\_\_ Subdivision: \_\_\_\_\_

Folio Number(s): \_\_\_\_\_

Zoning Classification: IM-3 Land Use Classification: TRANS

Existing Property Use: VACANT Sq Ft/Number of Units: \_\_\_\_\_

Is the request the result of a violation notice? ( ) Yes ☒ No If yes, attach a copy of violation.

Has this property been presented to the City before? If yes, check all that apply and provide File Number(s) and Resolution(s): \_\_\_\_\_

- ☐ Economic Roundtable ☐ Technical Advisory Committee ☐ Development Review Board  
☐ Planning and Zoning Board ☐ Historic Preservation Board ☐ City Commission

Explanation of Request: APPROVAL OF SITE PLAN FOR A PET LODGE FACILITY

Number of units/rooms: \_\_\_\_\_ Sq Ft: 8,950 S.F.

Value of Improvement: \$1.5 MILL Estimated Date of Completion: 6/2012

Will Project be Phased? ( ) Yes ☒ No If Phased, Estimated Completion of Each Phase \_\_\_\_\_

Name of Current Property Owner: JOHN GLORIOUX

Address of Property Owner: 1113 S.E. 9TH ST. FT. LAUD. FL 33316

Telephone: 954 270-4999 Fax: \_\_\_\_\_ Email Address: John e Bonpano Pet Lodge. com

Name of Consultant/Representative/Tenant (circle one): GUTIERREZ | LOZANO ARCHITECTS P.A.

Address: 2830 N. W. 7th St. Ft. Laud. FL 33312 Telephone: 954-321-3442

Fax: \_\_\_\_\_ Email Address: M.GUTIERREZ@GUTIERREZLOZANO.COM

Date of Purchase: \_\_\_\_\_ Is there an option to purchase the Property? Yes ( ) No ( )

If Yes, Attach Copy of the Contract.

List Anyone Else Who Should Receive Notice of the Hearing: \_\_\_\_\_

Address: \_\_\_\_\_

Email Address: \_\_\_\_\_

OFFICE OF PLANNING



2600 Hollywood Boulevard Room 315  
Hollywood, FL 33022

GENERAL APPLICATION

**CERTIFICATION OF COMPLIANCE WITH APPLICABLE REGULATIONS**

The applicant/owner(s) signature certifies that he/she has been made aware of the criteria, regulations and guidelines applicable to the request. This information can be obtained in Room 315 of City Hall or on our website at [www.hollywoodfl.org](http://www.hollywoodfl.org). The owner(s) further certifies that when required by applicable law, including but not limited to the City's Zoning and Land Development Regulations, they will post the site with a sign provided by the Office of Planning. The owner(s) will photograph the sign the day of posting and submit photographs to the Office of Planning as required by applicable law. Failure to post the sign will result in violation of State and Municipal Notification Requirements and Laws.

(I)(We) certify that (I) (we) understand and will comply with the provisions and regulations of the City's Zoning and Land Development Regulations, Design Guidelines, Design Guidelines for Historic Properties and City's Comprehensive Plan as they apply to this project. (I)(We) further certify that the above statements and drawings made on any paper or plans submitted herewith are true to the best of (my)(our) knowledge. (I)(We) understand that the application and attachments become part of the official public records of the City and are not returnable.

Signature of Current Owner: \_\_\_\_\_

Date: 9/30/11

PRINT NAME: John Glorieux

Date: \_\_\_\_\_

Signature of Consultant/Representative: \_\_\_\_\_

Date: 9.29.11

PRINT NAME: MANUEL GUTIERREZ

Date: \_\_\_\_\_

Signature of Tenant: \_\_\_\_\_

Date: \_\_\_\_\_

PRINT NAME: \_\_\_\_\_

Date: \_\_\_\_\_

**CURRENT OWNER POWER OF ATTORNEY**

I am the current owner of the described real property and that I am aware of the nature and effect the request for (project description) AIRPORT PET WASH to my property, which is hereby made by me or I am hereby authorizing (name of the representative) MANUEL GUTIERREZ, G/L ARCHITECT to be my legal representative before the DEVELOPMENT REVIEW (Board and/or Committee) relative to all matters concerning this application.

Sworn to and subscribed before me

this 30 day of September, 2011

Jamie Zae Baumgarner

Notary Public State of Florida North Carolina

John Glorieux  
SIGNATURE OF CURRENT OWNER

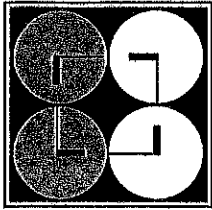
John Glorieux

PRINT NAME

My Commission Expires: March 13, 2013 (Check One) \_\_\_\_\_ Personally known to me; OR Florida Driver's License

JAMIE ZOE BAUMGARNER  
NOTARY PUBLIC  
Jackson County, North Carolina





**GUTIERREZ & LOZANO**  
ARCHITECTS, P.A.

2830 W SR-84 SUITE 117  
FORT LAUDERDALE FL. 33312

Tel: (954)3213442 Fax: (954)3213864

09/23/11

City Of Hollywood  
Development Review Board  
2600 Hollywood Blvd. Room 315  
Hollywood, Florida 33022

Re: "Airport Pet Lodge" Project  
2604 Federal Highway, Hollywood, Florida  
Request for Development Review Approval

Sir or Madam:

Following please find a written statement identifying how our Project is consistent with the Design Criteria in Article 5 of the City of Hollywood Zoning and Land Development Regulations, and the City's "Design Guidelines Manual":

**a. General Criteria.**

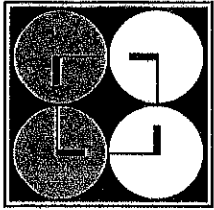
- (1) Architectural and Design Components:**
- (2) Compatibility:**
- (3) Scale/Massing:**
- (4) Landscaping:**

**b. Design Guidelines Manual:**

Our Project is located in an industrial zone with multiple warehouse/industrial type buildings or facilities (some with heavy graphics) with no particular Architectural style. We decided to employ a simple, clean, and very functional Architectural Design that would attract the attention of the passerby with its simplicity, and convey to the public the character, standards, and mission of our pet lodging services.

Our buildings (like the existing surrounding structures) are one story in height but the rooflines vary and have different heights to avoid the warehouse "box" look.

A carport with an impressive minimalist reinforced concrete structure was incorporated at the front entrance of the registration building to provide shelter for clients dropping-off or picking-up their pets and to emphasize the main public entrance. The main entrance is further emphasized by the use of aluminum and glass storefront doors with large glass sidelites. The single column supporting said carport was used as a tall sculptural element and as background for our backlit neon sign.



**GUTIERREZ & LOZANO**  
ARCHITECTS, P.A.

2830 W SR-84 SUITE 117  
FORT LAUDERDALE FL. 33312

Tel: (954)3213442 Fax: (954)3213864

Our floor plan consists of small kennel buildings (housing only 10 dogs each) arranged around two interior play areas with fountains and landscaping all connected via an exterior covered walkway. This design concept is quite innovative for a pet lodging facility. These smaller kennel buildings are not only aesthetically pleasant on the exterior, but also provide the animals with a better interior environment. (Less dogs means less noise, smells, stress, contamination, etc.). All kennels will have ample windows for natural light and direct access to outdoor runs. The cages and doors will be glass (not metal bars) to get away from the "jailhouse" look.

On the exterior of the Buildings we are using traditional building materials compatible with the South Florida region. Stucco (painted white), clear glass, and standing seam metal roof with natural galvanized finish (not painted).

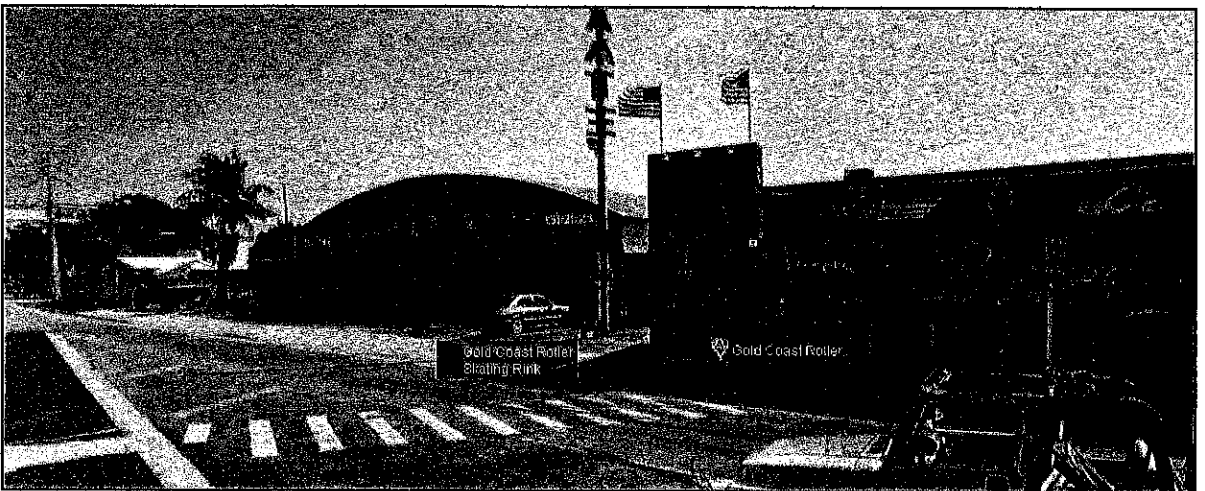
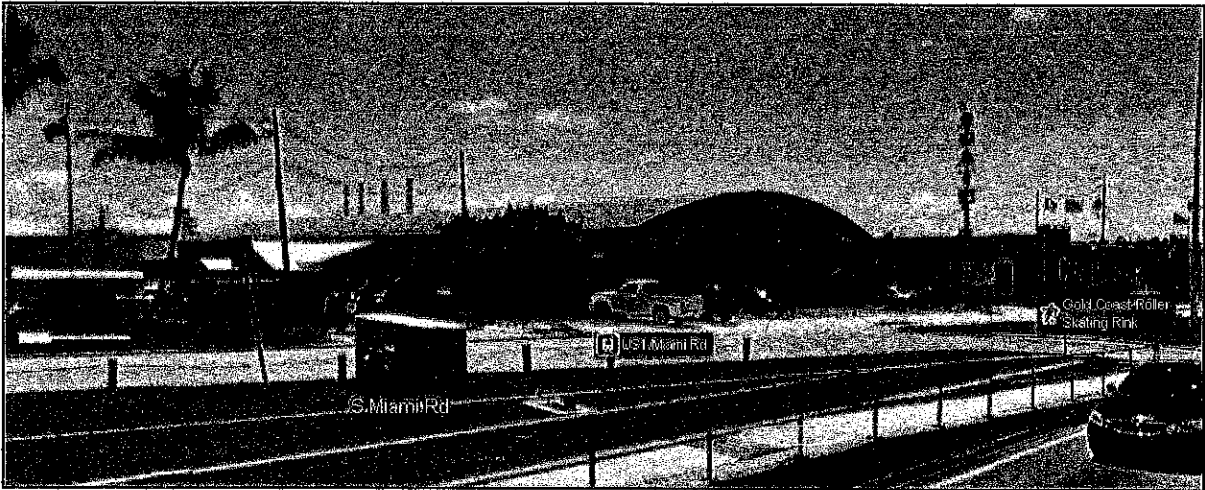
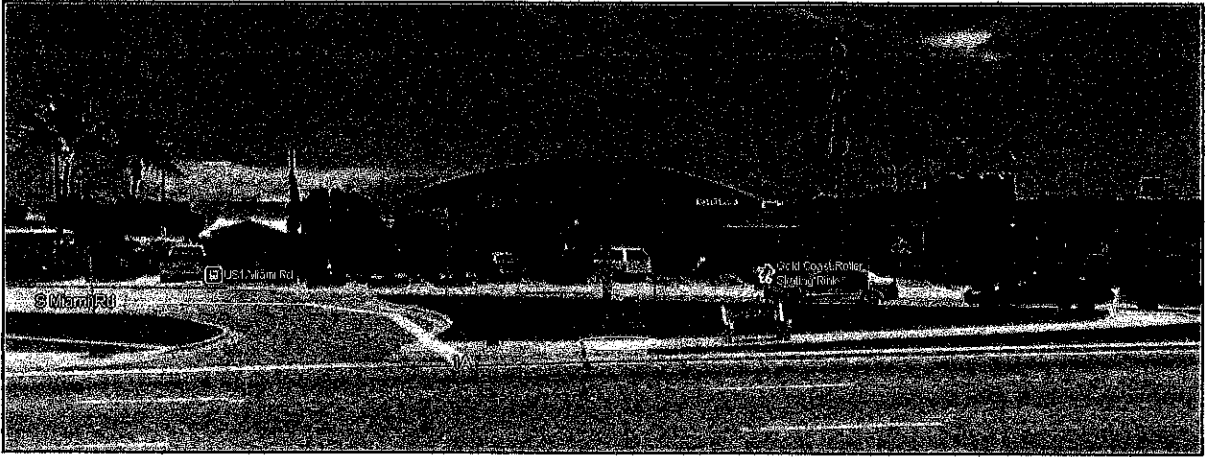
All air conditioning equipment has been screened from street view and a location to store trash containers is being provided within the facility.

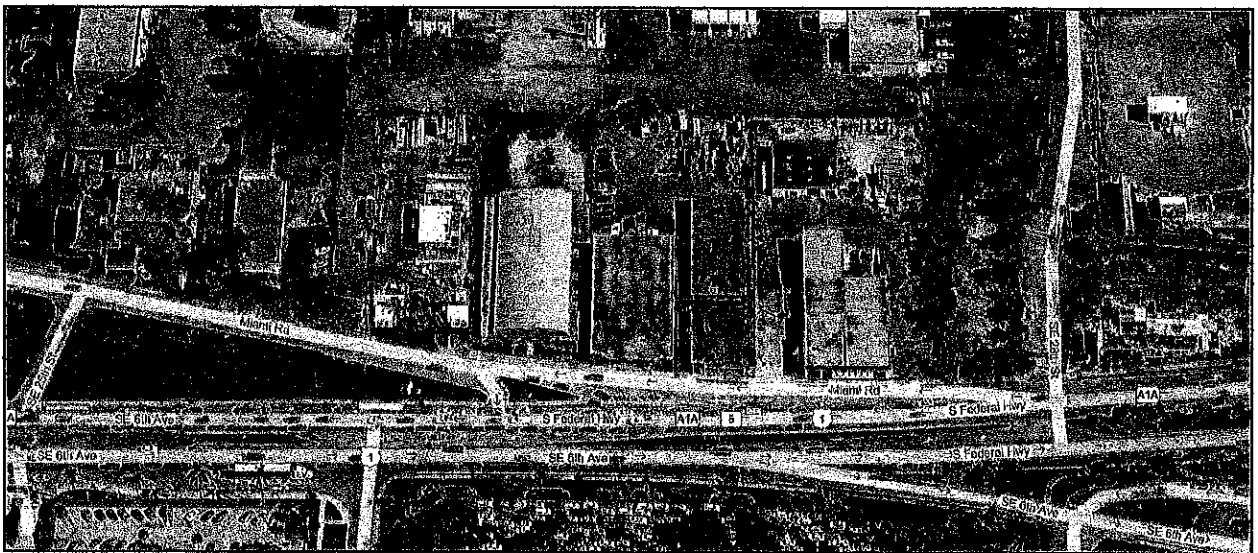
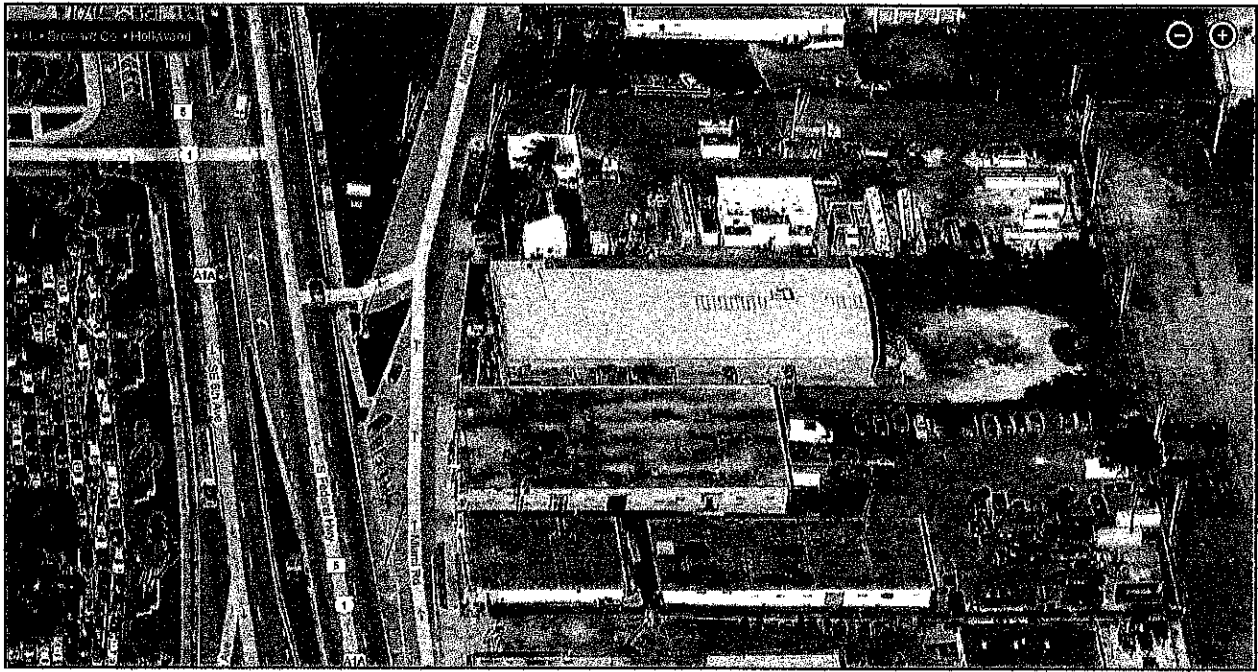
Our parking area is separated from the street by 15 foot wide landscaped buffer. The landscaping plan was prepared by a Florida registered Landscape Architect. Said plan incorporates a variety of native and other compatible plant types with an irrigation system.

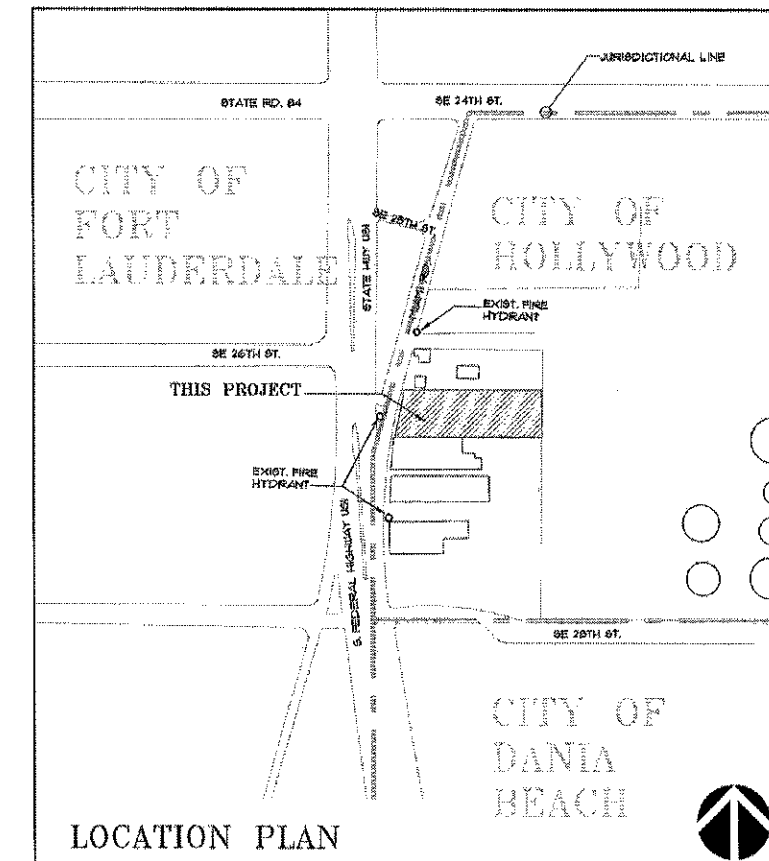
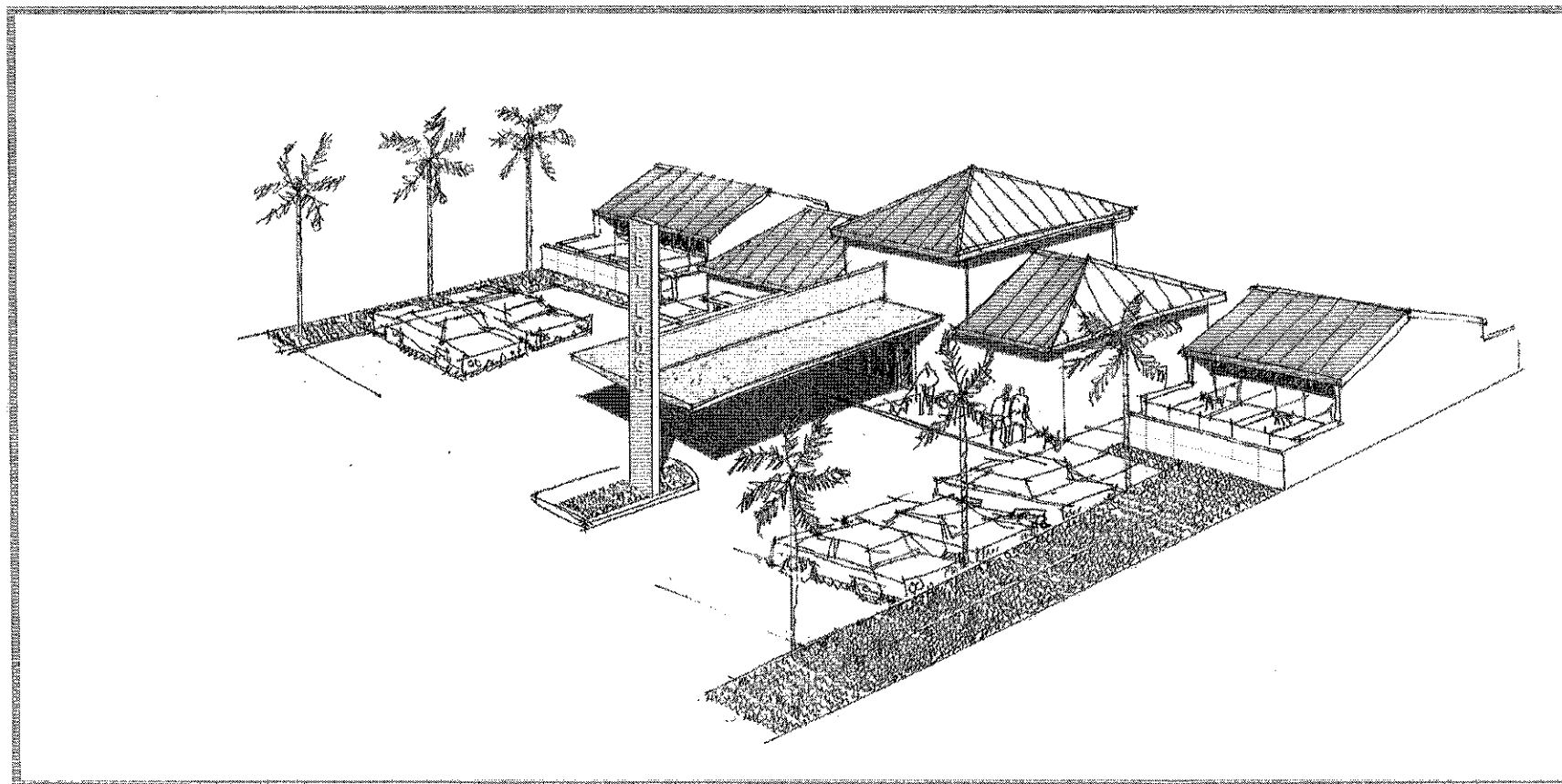
Our entire facility is handicapped accessible as required by the American Disabilities Act.

Thank you for your consideration in this matter.

Manny Gutierrez, Project Architect







# *Airport Pet Lodge* Hollywood

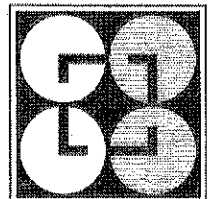
2604 FEDERAL HIGHWAY, HOLLYWOOD, FLORIDA 33167

## INDEX OF DRAWINGS

#	SHEET	TITLE
1		COVER SHEET
2		SURVEY
3	L-1	LANDSCAPE PLAN
4	SP-1	SITE PLAN
5	A-1	FLOOR PLAN
6	A-1	ROOF PLAN
7	A-2	ELEVATIONS
8	A-3	SECTIONS
9		CIVIL DRAWINGS

## TAC SUBMITTAL

	DATE
PRELIMINARY TAC	4/26/11
TAC REVISION 1	7/2/11
TAC REVISION 2	8/28/11
DEV. REV. BOARD	9/28/11

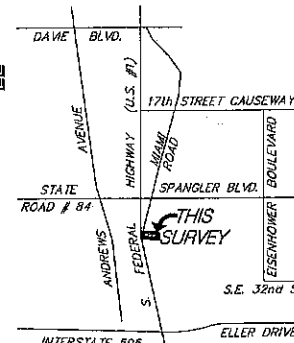


**GUTIERREZ  
& LOZANO  
ARCHITECTS**  
2850 W. STATE ROAD 84, SUITE 117  
FT. LAUDERDALE, FL 33312  
PHONE: (954) 331-3444  
FAX: (954) 331-3444

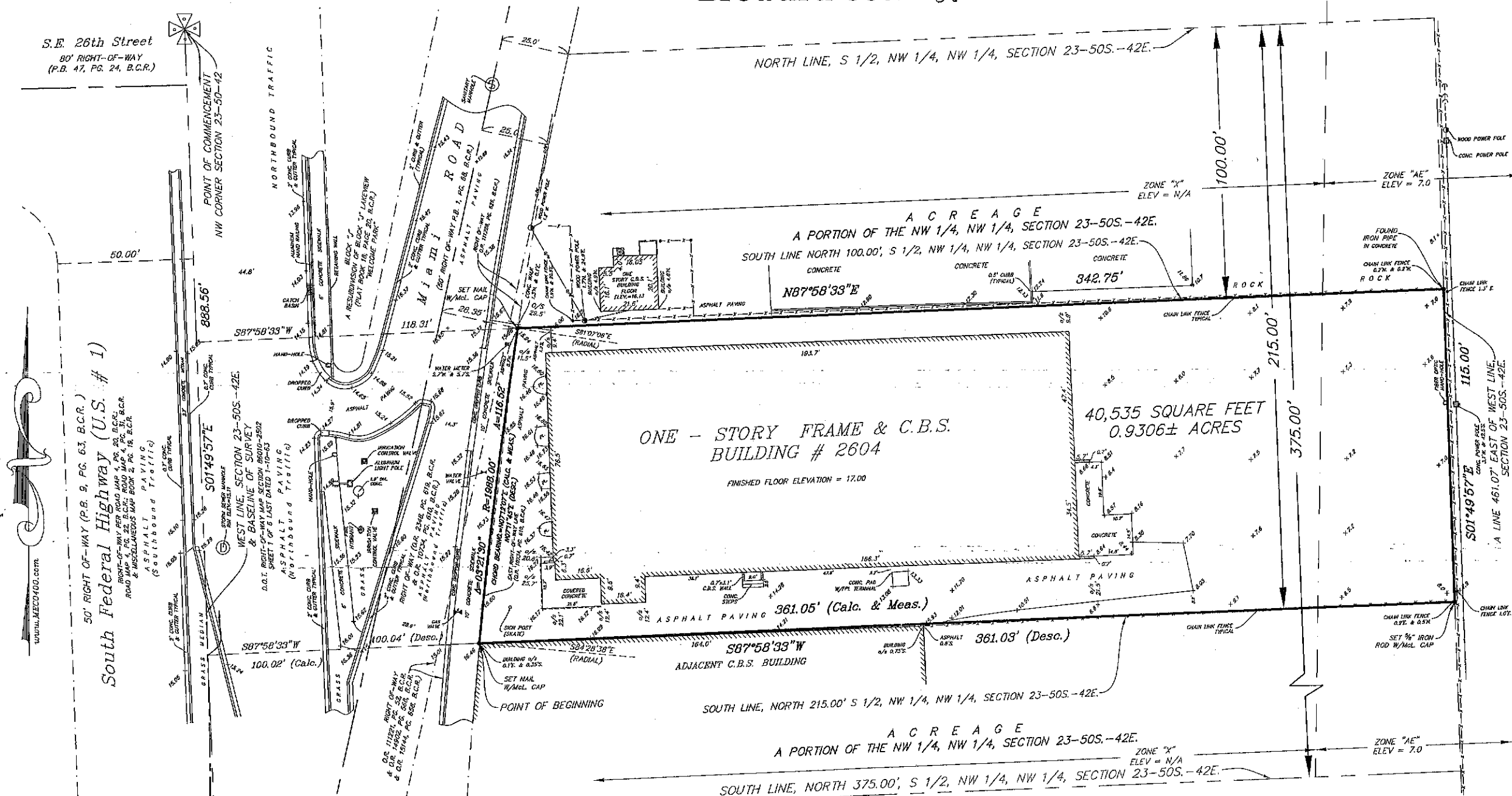


**A Portion of Section 23,  
Township 50 South, Range 42 East,  
City of Hollywood  
Broward County, Florida**

**REDUCED NOT TO SCALE**



Location Map  
Not To Scale



### Legal Description

The North 115 feet of that portion of the South 275 feet of the North 375 feet of the West 461.07 feet of the South one half (SH) of the Northwest one quarter (NW<sup>1</sup>/<sub>4</sub>) of the Northwest one quarter (NW<sup>1</sup>/<sub>4</sub>) of Section 23, Township 50 South, Range 42 East, lying East of the Southeastely Right-of-Way line of State Road 862 (1-395) as described in Deed records in Official Records Book 10734, Page 610, of the Public Records of Broward County, Florida, being more particularly described as follows:

Commencing at the Northwest corner of Section 23, Township 50 South, Range 1 East, there is a line 01°55'33" East, along the West line of Section 23, a distance of 988.58 feet; thence North 78°58'33" East along a line 215.00 feet South of and parallel with the North boundary of the Southwest one quarter (SW<sup>1</sup>/<sub>4</sub>) of the Northwest one quarter (NW<sup>1</sup>/<sub>4</sub>) of the Northwest one quarter (NW<sup>1</sup>/<sub>4</sub>) of said Section 23, a distance of 100.04 feet to the Point of Beginning, said point being on the Easterly Right-of-Way line for State Road 862 (I-595) as described in Official Records Book 10734, Page 610, of the Public Records of Broward County, Florida; thence Northeasterly 116.52 feet along said Right-of-Way line and the arc of a curve, concave to the East, having a radius of 1988.00 feet, a central angle of 032°1'30", a chord bearing of North 071°45' East, to a point on a line 100.00 feet South of and parallel with said North boundary of the Southwest one quarter (SW<sup>1</sup>/<sub>4</sub>) of the Northwest one quarter (NW<sup>1</sup>/<sub>4</sub>) of the Northwest one quarter (NW<sup>1</sup>/<sub>4</sub>); thence North 78°58'33" East, along said parallel line, 342.75 feet to a point on a line 461.07 feet East of and parallel with the West line of said Section 23; thence North 01°55'33" East along said parallel line 15.00 feet to a point on a line 215.00 feet South of and parallel with the North boundary of aforesaid Southwest one quarter (SW<sup>1</sup>/<sub>4</sub>) of the Northwest one quarter (NW<sup>1</sup>/<sub>4</sub>); thence South 78°56'33" West along said parallel line, 361.03 feet to the Point of Beginning.

Sold lands situate, lying and being in the City of Hollywood, Broward County, Florida, and containing 40,535 square feet or 0.9306 acres, more or less.

CERTIFIED TO:

134Five3, LLC a Florida limited liability company; Northern Trust NA, its successor and/or assigns ATIMA; Savage & Aloss, P.L.; and Chicago Title Insurance Company. (NOT RESURVEYED)

Revised to add certifications this 2nd day of August, 2011.  
(NOT RESURVEYED)

### CERTIFICATION

We hereby certify that this survey meets the minimum technical standards as set forth by the Florida Board of Professional Surveyors and Mappers in Chapter 5J-17.05 Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

*Dated at Fort Lauderdale, Florida, this 22nd day of March, 2011.  
Title Commitment information added this 11th day of August 2011  
(NOT RESURVEYED)*

MOLLAUGH ENGINEERING COMPANY

*Carl E. Albreksen*  
CARL E. ALBREKTSSEN  
Registered Land Surveyor No. 4185  
State of Florida.

## OFFICE NOTES

FIELD BOOK NO: TDS w/Worksheets, Print, LB#302/55&amp;56

JOB ORDER NO. U-6473

CHECKED BY: \_\_\_\_\_

DRAWN BY: -

REFERENCE DRAWING: 07 - 3 - 070

C:\David2011\16473\dwg\16473.dwg 8/11/2011 1:35:44 PM EDT

NOTES:

- 1) This survey reflects all easements and rights-of-way, as shown on above referenced record plat(s). The subject property was not abstracted for other easements road reservations or rights-of-way of record by McLaughlin Engineering Company.
- 2) Underground improvements if any not located.
- 3) This drawing is not valid unless sealed with an embossed surveyor's seal.
- 4) Boundary survey information does not infer title or Ownership.
- 5) All iron rods 5/8", unless otherwise noted.
- 6) Reference Bench Mark: Broward County Bench Mark # 1856, Bench Mark Elevation = 19.84 (Bench Mark Elevation is referenced to the 1929 Geodetic Vertical Datum).
- 7) Elevations shown refer to National Geodetic Vertical Datum (1929), and are indicated thus: 15.65' ± Elev. = 7.21
- 8) This property lies in Flood Zones "X" and "AE", Elev.=N/A, and Elev.=7.01'. Per "Road Intersection Rate Map No. 12100007 F, Dated August 18, 1992, Commonly Panel No. 125131, under Map Dated October 2, 1997, and are shown approximately.
- 9) Bearings are referenced to an assumed meridian and assume the East line of Section 23-50S-42E, as South 01°49'57" East.
- 10) This property is designated as wetlands per the Broward County Wetland and the Environmental Protection Department of Broward County.

## ALTA/ACSM CERTIFICATION

TO: The City of Hollywood:

*This is to certify that this map and the survey on which it is based were made in accordance with the 2011 "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys", jointly established and adopted by ALTA and NSPS.*

The undersigned further certifies that survey meets the Minimum Technical Standards as forth by the Florida Board of Professional Surveyors and Mappers in Chapter 5J-17.05, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

Date of last field work March 22nd, 2011.

*Title Notes:*

*This survey reflects any easements, road reservations or rights-of-way of record affecting this property per Paramount Title Services, Inc. Search Number 11-804-1, dated March 16, 2011; and Chicago Title Insurance Company, Commitment Order No. 3563646, dated July 01, 2011, at 11:00 P.M.*

FILE NO: 11-3-018(ALTA)

FILE NO:





GUTIERREZ & LOZANO ARCHITECTS

2830 W. STATE ROAD 84, SUITE 117  
FT. LAUDERDALE, FL 33312  
PHONE: (954) 321-3442  
FAX: (954) 321-3564

REVISIONS	
1	SITE PLAN 08-10-11
2	LANDSCAPE PLAN 08-10-11

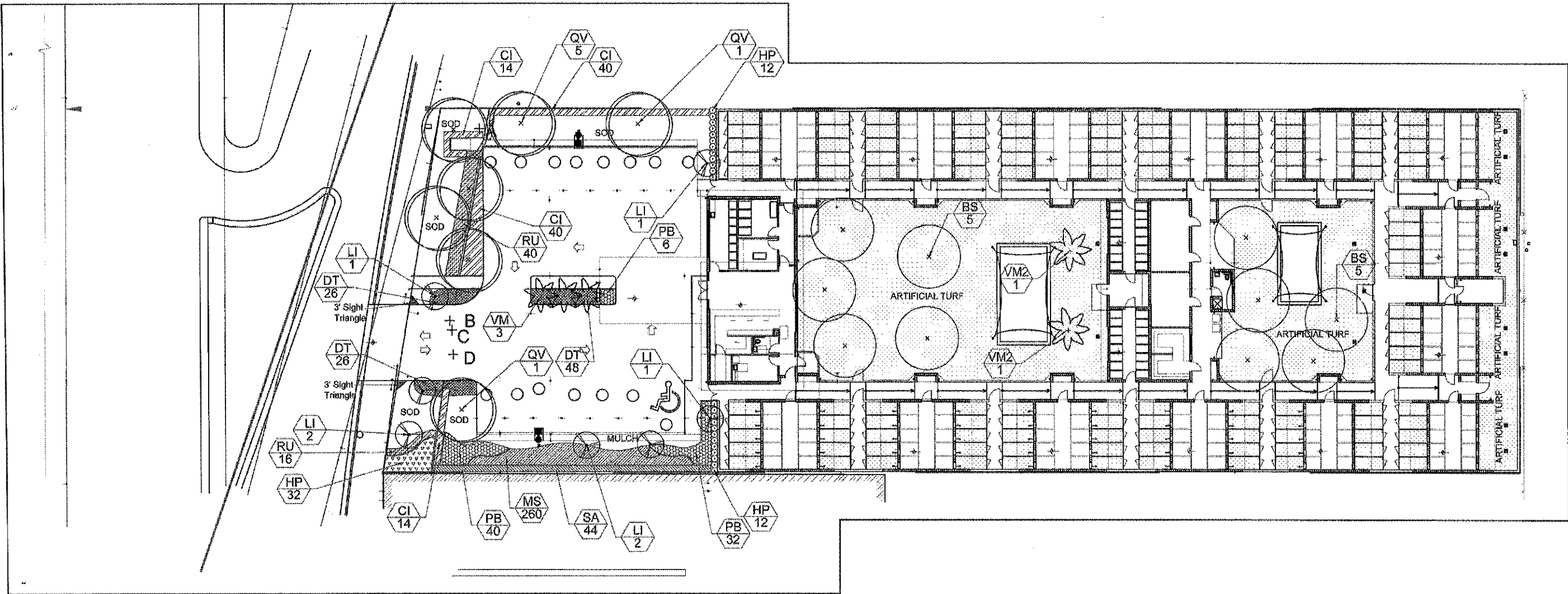
Kimberly Moyer, RLA  
Landscape Architecture  
(954) 492-8609

Lic. No. #LA0000952

NEW BUILDING:  
AIRPORT PET LODGE  
AT:  
2604 Federal Highway  
Hollywood, Florida

SHEET TITLE:  
LANDSCAPE PLAN  
SCALE: 1/16" = 1'-0"

JOB No.:  
DATE: 7/12/11  
SHEET  
L-1  
OF



Plant List		Botanical/ Common Name	Size	Native	Drought
Sym	Qty				Tolerance
BS	70	Bursaria sinensis / Gumbo Limbo	10' Hl. x 5' Spr. 2" DBH	Yes	V
LI	7	Lagerstroemia indica / Crepe Myrtle 'Muskogee'	10' Hl. x 5' Spr. 2" DBH, Grey Trunk	No	M
QV	7	Quercus virginiana / Live Oak	12' Hl. x 5' Spr. 3" DBH	Yes	V
VM	3	Veitchia montgomeryana / Montgomery Palm	12'-16' OA Hl, staggered	No	V
VM2	2	Veitchia montgomeryana / Montgomery Palm	12'-16' OA Hl, Triple Trunks	No	V
CI	108	Chrysanthemum leucanthemum / White Chrysanthemum	24" x 24" 24" O.C.	Yes	M
DT	108	Dianella laetevirens / Blueberry Flax Lily	18" x 18" 18" O.C.	No	M
HP	55	Hemelia patens / Common / Firebush	24" x 24" 24" O.C.	Yes	V
MS	260	Microsorium scolopendrium / Wart Fern	1 gal. 18" 18" O.C.	No	V
PB	78	Philodendron 'Bingo' / Bogo Plant	18" x 18" 24" O.C.	No	V
RU	66	Ruellia brittoniana / Purple Showers / Ruella	18" x 18" 24" O.C.	No	M
SA	44	Schefflera arborescens / Umbrella Tree	24" x 24" 24" O.C.	No	V
Sod		St. Augustine / Floratam			
Mulch		Red Mulch			

\* Drought tolerance V= Very drought tolerant M = Moderate drought tolerance (per S. FL Water Management District)

Existing Trees

Symbol	Qty	Common Name	Size	Work to be Done
A	1	Stemless fig	18' Hl x 12" Spr. multi trunk	To be removed
B	1	Collaria palm	12' Hl x 8" Spr. 3" dbh	To be removed
C	1	Collaria palm	12' Hl x 8" Spr. 3" dbh	To be removed
D	1	Collaria palm	12' Hl x 8" Spr. 4" dbh	To be removed

Landscape Requirements

Zoning IM-3

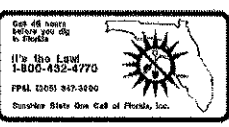
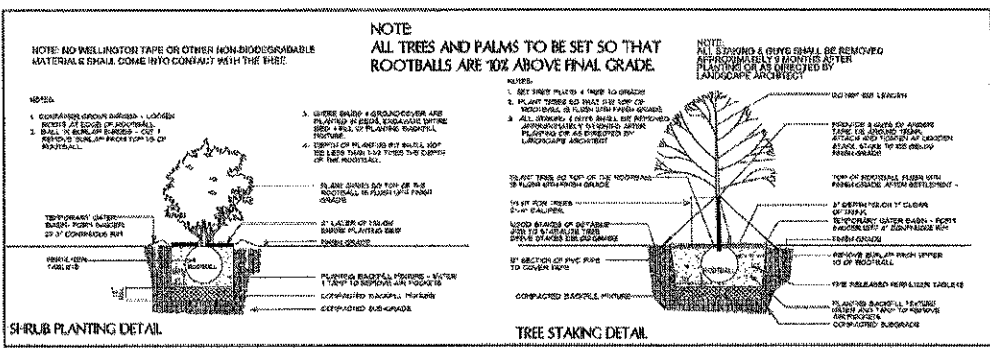
Code Requirement	Calculation	Qty Required	Qty Provided
NVA trees	17,000 sq ft / 1000 sq ft	18	19
Street trees	110' H / 50'	3	3
Native trees	100% x 26	16	17
Native shrubs	20% x 310	124	160

NOTES:

- SOD AND IRRIGATE TO EDGE OF WALK.
- REMOVE ALL BRAZILIAN PEPPER AND ALL OTHER NUISANCE EXOTICS FROM SITE.
- A TREE REMOVAL PERMIT IS REQUIRED BY CITY PRIOR TO REMOVAL OF ANY TREES ON SITE. TREE MITIGATION MUST BE COMPLETED PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS.

General Notes:

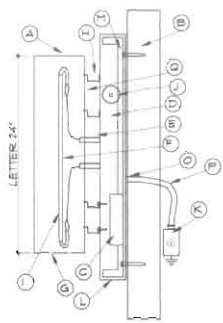
- All plant material shall be Florida No. 1 or better as given in the current Grades and Standards for Nursery Plants, 2nd Edition, February 1999, Florida Department of Agriculture and Consumer Services, Division of Plant Industry. Co-dominant trees and trees with bark inclusion will not be accepted.
- All plant material shall be subject to inspection and approval by the Landscape Architect at place of growth and upon delivery for conformity to specification.
- All plants shall be true to species and variety and shall conform to measurements specified.
- All plants shall be exceptionally healthy, symmetrical, light and so trained in appearance as to be superior to those, branching and symmetry.
- Contractor shall notify S.U.H.I.E. (1-800-432-4770) for location of building utility lines 48 hours prior to beginning work. Contractor shall verify location of all utility lines and easements prior to commencing any work. Excavation in the vicinity of underground utilities shall be undertaken with care and by hand. If necessary, the Contractor bears full responsibility for the work and disruption or damage to utilities shall be repaired immediately at no expense to the Owner.
- Grade 1st, Anterior Press, Red Mulch minimum 3" deep, shall be used in all areas planting beds and for individual tree pits. All trees shall have a mulch ring with a minimum depth of 3" and a diameter of 3'-4" around their base. All mulch shall be kept 2" from the base of all main material. Mulch beds shall be a minimum of 12" wider than plants measured from outside edge of foliage.
- Soil shall be St. Augustine soil and free of weeds, insects, fungi and disease. All soil shall be amended with a minimum of 2" layer of the soil and planting soil shall be clean. All trees and shrubs shall be specified with a suitable planting soil consisting of 60 percent sand and 40 percent approved compost. (Note: Field observation and soil analysis may require a different soil composition to be provided.) All plant materials shall be planted with a minimum of six to twelve inches of this planting soil around and beneath the root ball. Refer to planting details. Planting beds and planting soil shall be free from mud, soil, clay, or colored rock, building materials, debris, weeds, noxious pests and disease.
- All sodded areas to have a minimum of 2" of planting soil as described in note #8.
- All trees shall be warranted by the Contractor and will be healthy and in flourishing condition of active growth on year from date of first acceptance.
- All shrubs, groundcovers, vines and sod shall be fully warranted for 1 year under same condition as above.
- All synthetic bark, optical glazing or other artificial bark shall be removed before any trees are planted. All synthetic tape shall be removed from trunks, branches, etc., before inspection. The top 1/4 of any exposed trunk shall be removed or laced into the planting hole before trees are backfilled. Planting soil to be backfilled into plant pits by watering in.
- All trees, palms and other plants shall be planted with the top of their root balls no deeper than the final grade surrounding the planting area. Root balls may be planted up to 100% above grade.
- In areas where paved surfaces abut soil or mulch, the final grade level of both surfaces should be even.
- All planting shall be installed with fertilizer and/or fertilizer tablets at time of planting.
- All planting shall be installed in a sound, workmanlike manner and according to good planting procedures. Installation shall include watering, weeding, fertilizing, mulching, selective pruning, and removal of refuse and debris on regular basis so as to present a neat and well kept appearance at all times.
- All landscape and sod area shall have an automatic irrigation system installed. Coverage should be 100% overlap to all landscape and sod areas and spray onto hardscap to not penetrate. Sodded areas and shrub/groundcover beds should be on separate irrigation zones for a more efficient system. Irrigation system shall be installed with a controller device.
- All landscape shall be installed in compliance with all local codes.
- The plan shall take precedence over the plant list, should there be any discrepancy between the two.
- Any plant substitutions must be approved by the City of Hollywood prior to installation.



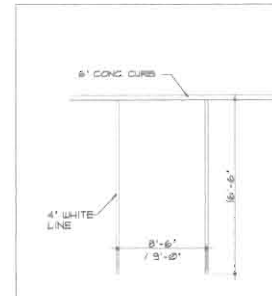
Scale: 1/16" = 1'-00"

North

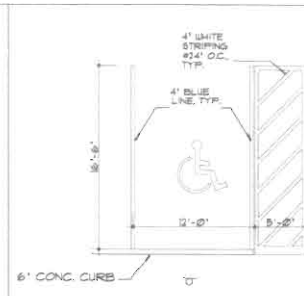
- (A) ALUMINUM REVERSE CHANNEL LETTER GAUGE  $\times 0.063$  IN.
- (B) CSS CONCRETE WALL.
- (C) INSIDE THE WIRE-GAY
- (D) REVERSE CHANNEL STUDS FASTEN TO WIRE-GAY WITH WELDING SCRAP TO FOUR IN. PER LETTER.
- (E) ALUMINUM TUBE SPACER  $\frac{1}{2}$ " LEDDED TO WIRE-GAY FACE.
- (F) NEON TUBES
- (G) DRAINING HOLES, TWO PER LETTER
- (H) ALUMINUM STANDOFFS  $\frac{1}{8} \times \frac{1}{2}$  DIA. PER LETTERS
- (I) NEON 3 mm SYSTEM ILLUMINATION
- (J) LISTED 30 AMP DISCONNECT SERVICE SWITCH
- (K) GROUNDING BRANCH CIRCUIT 90 VOLTS, 20 AMP.
- (L) ALUMINUM WIRE-GAY  $0.063$  MM.
- (M) LEDDED ALUMINUM TUBES  $1.0157 \times 1.0157 \times \frac{1}{8}$ " EVERY 2" CENTER TO CENTER TO INSURE EXPANSION ANCHOR BOLTS  $1.344 \times \frac{1}{2}$  PER LETTERS
- (N) ALUMINUM WIRE-GAY  $0.063$  MM.
- (O) LISTED 30 AMP DISCONNECT SERVICE SWITCH
- (P) LISTED LIQUID-TITE CONNECTOR  $\frac{1}{2}$ "
- (Q) LISTED LIQUID-TITE CONNECTOR  $\frac{1}{2}$ "
- (R) METALLIC CLEAR POLYCARBONATE  $\frac{1}{8}$ "



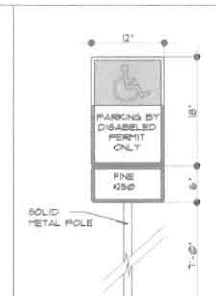
SIDE VIEW DETAIL



TYP. PARKING STALL



TYP. HANDICAP STALL



SIGN DETAL  
NTS

THE NORTH 115 FEET OF THAT PORTION OF THE SOUTH 275 FEET OF THE NORTH 375 FEET OF THE JEST 46/271 FEET OF THE SOUTH 1/2 OF THE (1/4) OF THE NORTHWEST ONE QUARTER (NW1/4) OF THE NORTHWEST ONE QUARTER (NW1/4) OF SECTION 73, TOWNSHIP 80 SOUTH, RANGE 41 EAST, LYING EAST OF THE SOUTHEASTERLY RIGHT-OF-WAY LINE OF THE STATE ROAD 862 (1-395) AS DESCRIBED IN DEED RECORDS IN OFFICIAL RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COTTAGES AT THE NORTHWEST CORNER OF SECTION 73, TOWNSHIP 80 SOUTH, RANGE 42 EAST, THENCE SOUTH 01° 49' 51" EAST, ALONG THE WEST LINE OF SECTION 23, A DISTANCE OF 186.60 FEET TO A POINT BEING THE SOUTHWEST CORNER OF SAID SECTION 23, A DISTANCE OF 150.00 FEET SOUTH OF THE PARALLEL WITH THE NORTH BOUNDARY OF THE SOUTHWEST QUARTER (SW<sub>1</sub>) OF THE NORTHEAST ON A COURSE OF 89° 58' 33" EAST, ALONG SAID PARALLEL LINE (NW<sub>1</sub>) OF SAID SECTION 23, A DISTANCE OF 100.00 FEET TO THE POINT OF BEGINNING SAID POINT BEING ON THE WEST BOUNDARY OF SAID SECTION 23, 6862 (1-958) AS DESCRIBED ON OFFICIAL RECORDS BOOK 0734, PAGE 610 OF THE PUBLICS RECORDS OF BRANSON, MISSOURI.

SUBJECT MATTER: 16.50 FEET ALONG SAID RIGHT-OF-WAY LINE AND THE ARC OF A CURVE, CONCAVE TO THE EAST, HAVING A RADIUS OF 186.60 FEET, A CENTRAL ANGLE OF 03° 21' 12" EAST, BEARING FROM SAID POINT OF BEGINNING TO A POINT ON THE LINE 100.00 FEET SOUTH OF AND PARALLEL WITH SAID NORTH BOUNDARY OF THE SOUTHWEST QUARTER (SW<sub>1</sub>) OF THE NORTHEAST ONE EIGHTH (NE<sub>1</sub>/8) OF THE NORTHEAST ONE QUARTER (NW<sub>1</sub>) OF SAID SECTION 23, THENCE NORTH 81° 58' 33" EAST, ALONG SAID PARALLEL LINE, 342.75 FEET TO A POINT ON THE LINE 40.00 FEET SOUTH OF SAID PARALLEL LINE, 150.00 FEET TO THE POINT OF BEGINNING.

AFORESAID SECTION 23, THENCE SOUTH 01° 49' 51" EAST, ALONG SAID PARALLEL LINE 150.00 FEET TO A POINT ON THE LINE 100.00 FEET SOUTH OF AND PARALLEL WITH THE BOUNDARY OF AFORESAID SOUTHWEST ONE QUARTER (SW<sub>1</sub>) OF THE NORTHEAST ONE QUARTER (NW<sub>1</sub>) OF THE NORTHEAST ONE EIGHTH (NE<sub>1</sub>/8) OF SAID SECTION 23, THENCE SOUTH 81° 58' 33" EAST, ALONG SAID PARALLEL LINE, 342.00 FEET TO THE POINT OF BEGINNING.

SAID LANDS SITUATE, LYING AND BEING IN THE CITY OF HOLLYWOOD, BROWARD COUNTY, FLORIDA, AND CONTAINING 40,535 SQUARE FEET OR 0.9306 ACRES, MORE OR LESS.



△ PICKET FENCE DETAIL  
SCALE: 1/4" = 1'-0"

FOR DETAILED MODIFICATIONS TO EXISTING  
DRIVEWAY/CURB CUTS, SEE CIVIL DRAWINGS.

ALL SIGNAGE WILL COMPLY WITH ZONING AND LAND DEVELOPMENT REGULATIONS.

ALL SIGNS WHICH ARE ELECTRICALLY ILLUMINATED BY NEON OR OTHER MEANS, SHALL REQUIRE A SEPARATE ELECTRICAL PERMIT AND INSPECTION. SEPARATE PERMITS ARE REQUIRED FOR EACH SIGN.

LOT SIZE	40,467 S.F.
ZONING CLASSIFICATION	I-M3 MEDIUM INTENSITY INDUSTRIAL
LAND USE DESIGNATION	GENERAL BUSINESS
SITE AREA	100% 40,467 S.F.
BUILDING AREA	22.71% 9,192.23 S.F.
AIR CONDITIONED AREA	22.10% 8,945 S.F.
COVERED WALKWAYS	7.91% 3,204 S.F.
VEHICULAR - WALKWAYS IMPERVIOUS AREA	22.36% 9,049 S.F.
PERVIOUS AREA	42.21% 17,080.36 SF
IMPERVIOUS AREA	57.79 % 23,387 S.F.
PARKING DATA:	
OFFICE AREA	1,740 S.F. /250= 6.96 SPACES.
STORAGE AREA	7,231 S.F. / 1000 = 7.23 SPACES
	TOTAL REQUIRED: 14.18 SPACES
	TOTAL PROVIDED: 15 SPACES

NUMBER OF KENNELS PROPOSED:		
	RUNS: 140	CAT CONDOS: 24
SETBACKS	REQUIRED	PROVIDED
FRONT	15'-0"	84'-5"
SIDE (INTERIOR) & REAR	0'-0"	0'-0"

TOTAL VEHICULAR PAVED AREA 6,589 S.F. x 0.25% = 1,647.25 S.F.

REQUIRED LANDSCAPING  
OF VEHICULAR USE AREA: \_\_\_\_\_ 1,647.25 S.F.

LANDSCAPING OF VEHICULAR  
USE AREA PROVIDED: \_\_\_\_\_ 2,492 S.F.

BUILDING HT. \_\_\_\_\_ 42'-4"






## SITE PLAN

SCALE: 1/16" = 1'-0"



GUTIERREZ  
& LOZANO  
ARCHITECTS

2830 W. STATE ROAD 84, SUITE 117  
FT. LAUDERDALE, FL. 33312  
PHONE: (954) 321-3442  
FAX: (954) 321-3864

REVISIONS		
	TAC REV.	07-12-11
	TAC REV.	08-18-11
	DEV. REV. BOARD	09-28-11

MANUEL GUTIERREZ ☐  
STATE OF FLA. REG. No. 8253

CARLOS LOZANO ☐  
STATE OF FLA. REG. No. 0014722

NEW BUILDING:  
AIRPORT PET LODGE  
AT:  
2604 Federal Highway  
Hollywood, Florida

SHEET TITLE :

SITE PLAN

SCALE: 1/6" = 1'-0"

JOB No.:	
DATE:	4/26/11

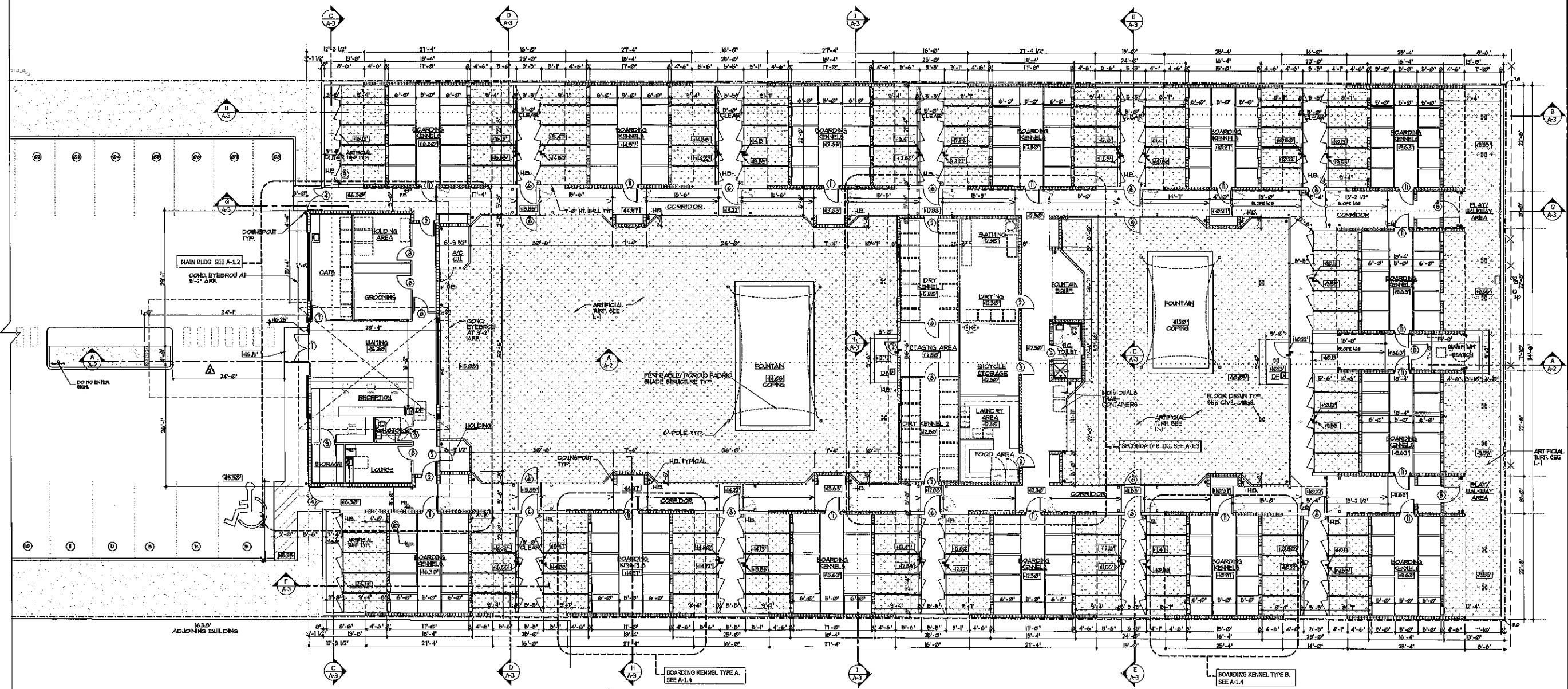
SHEET  
SP-1

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PET LOGGE

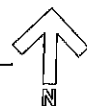


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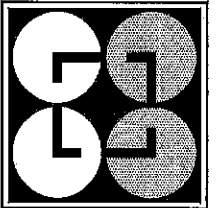
FLOOR PLAN

SCALE: 3/32" = 1'-0"



### GENERAL NOTES:

- \* ALL CONTRACTORS SHALL VISIT THE SITE, REVIEW EXISTING CONDITIONS AND REPORT TO ARCHITECT ANY DISCREPANCIES WITH THE PLANS PRIOR SUBMITTING THEIR BID.
- \* PRIOR TO LAYOUT SPACE ON FLOOR AND ADVISE ARCHITECT BEFORE FRAMING OF ANY DISCREPANCIES.
- \* DOOR HARDWARE MUST MEET A.D.A. STANDARD
- \* FOR CEILING LAYOUT SEE SHEET ELECTRICAL PLANS
- \* FOR PARTITION DETAILS AND SLOTT DETAILS SEE SHEET A-12
- \* SINKS REQUIRED TO BE ACCESSIBLE BY F.A.C. MUST COMPLY W/REG. 424 (1) THRU (1)
- \* DOOR HARDWARE MUST COMPLY W/ N.P.A. 101 SECT. 1-2.1.1
- \* COORDINATE HARDWARE SELECTION W/OWNER
- \* INTERIOR FINISHES TO BE CLASS 1B
- \* INTERIOR FLOOR FINISHES TO BE CLASS II
- \* MET. STUDS SUPPORTING WALL HUNG PLUMBING FIXTURES SHALL DOUBLE OR 20 GA. MINIMUM. COORDINATE W/ PLUMBING CONTRACTOR.
- \* PROVIDE WOOD BLOCKING FOR ALL WALL MOUNTED EQUIPMENT. COORDINATE WITH EQUIPMENT SUPPLY REPRESENTATIVE.
- \* INSTALL SIGN AT RESTROOM ENTRANCE READING "TOILET" AND DISPLAYING HANDICAP ACCESSIBILITY SIGN. SIGNS SHALL HAVE 1/32" RAISED, AND ACCOMPANIED WITH GRADE 2 BRAILLE. SIGNS SHALL BE MOUNTED • 60" A.P.F.
- \* PROVIDE BRACING FOR TV BRACKETS WHERE SHOWN ON ELECTRICAL PLANS



**GUTIERREZ  
& LOZANO  
ARCHITECTS**

2830 W. STATE ROAD 84, SUITE 117  
FT. LAUDERDALE, FL. 33312  
PHONE: (954) 321-3442  
FAX: (954) 321-3864

REVISIONS		
△	TAC REV	01-12-11
△	TAC REV	08-18-11

MANUEL GUTIERREZ  
STATE OF FLA. REG. NO. 8253

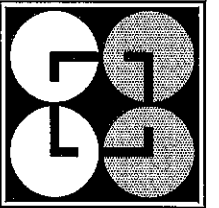
SKAL

CARLOS LOZANO  
STATE OF FLA. REG. NO. 0014722

NEW BUILDING:  
**AIRPORT PET LODGE**  
AT:  
2604 Federal Highway  
Hollywood, Florida

SHEET TITLE:  
**FLOOR PLAN**  
SCALE: 3/32" = 1'-0"

JOB No.:  
DATE: 4/28/11  
SHEET  
**A-1**  
OF  
PET LODGE



**GUTIERREZ  
& LOZANO  
ARCHITECTS**

2830 W. STATE ROAD 84, SUITE 117  
FT. LAUDERDALE, FL. 33312  
PHONE: (954) 321-3442  
FAX: (954) 321-3864

REVISIONS		
1	TAC REV	01-12-11

MANUEL GUTIERREZ  
STATE OF FLA. REG. No. 8253

SEAL

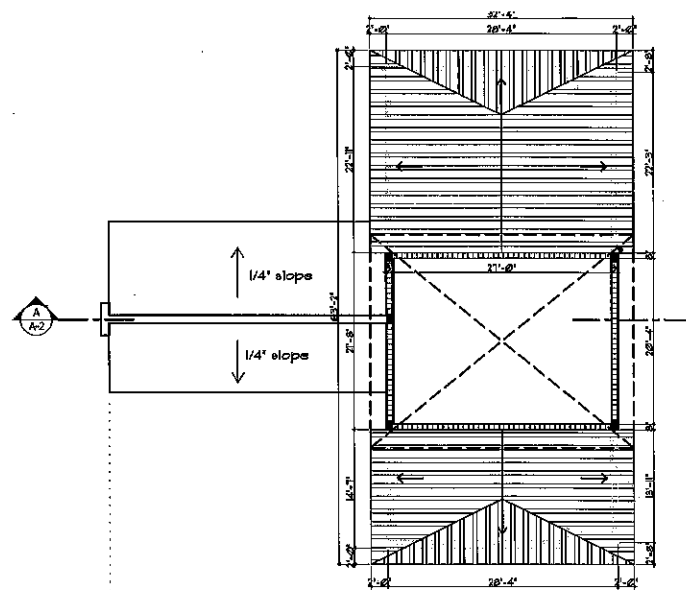
CARLOS LOZANO  
STATE OF FLA. REG. No. 0014722

NEW BUILDING:  
**AIRPORT PET LODGE**  
AT:  
2604 Federal Highway  
Hollywood, Florida

SHEET TITLE:  
**ROOF PLAN**  
SCALE: 3/32" = 1'-0"

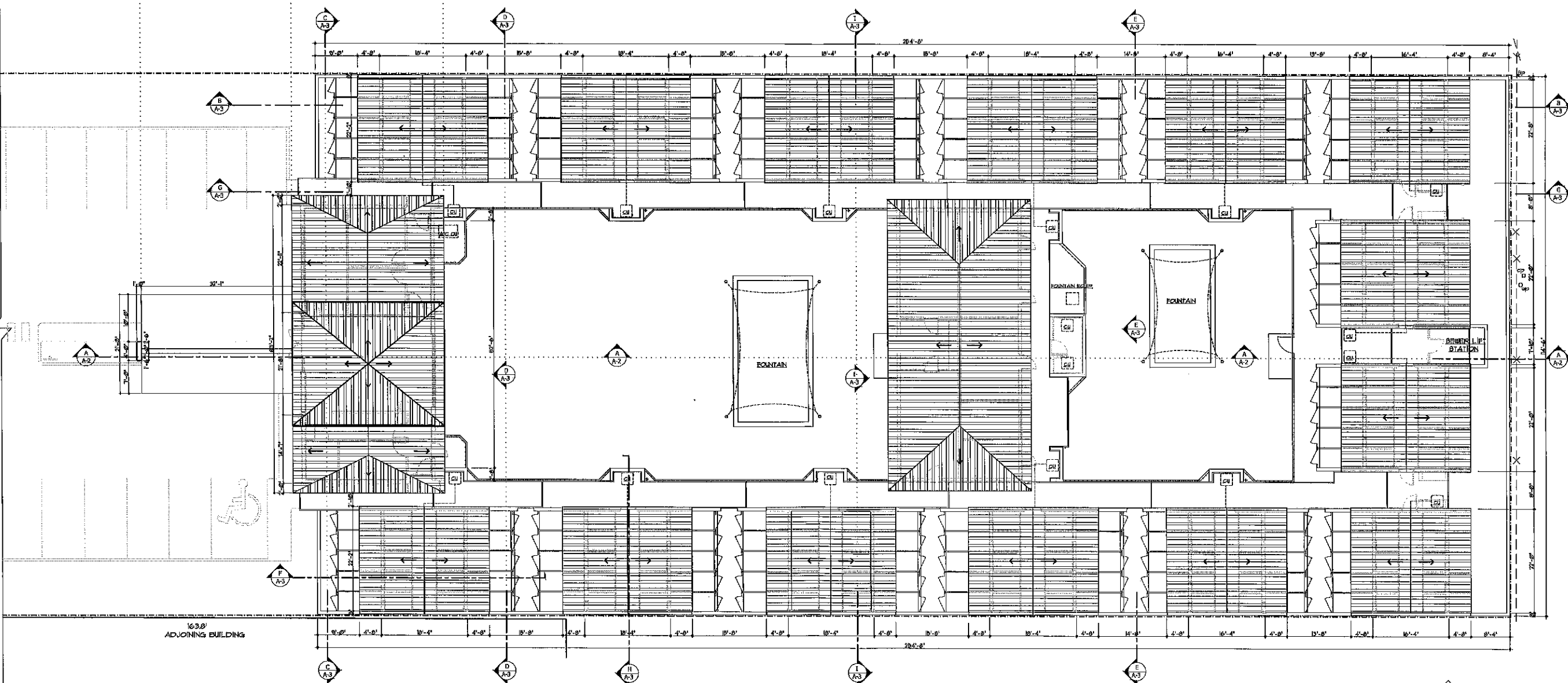
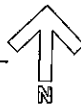
JOB No.:  
DATE: 4/28/11

SHEET  
**A-1.1**  
OF  
PET LODGE



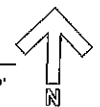
**PARTIAL ROOF PLAN**  
(+17'-0" A.F.F.)

SCALE: 3/32" = 1'-0"



**ROOF PLAN**

SCALE: 3/32" = 1'-0"



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REVISIONS		
1	TAC REV	07-12-1
2	TAC REV	08-19-
3	DEVREVIEW BOARD	09-28-

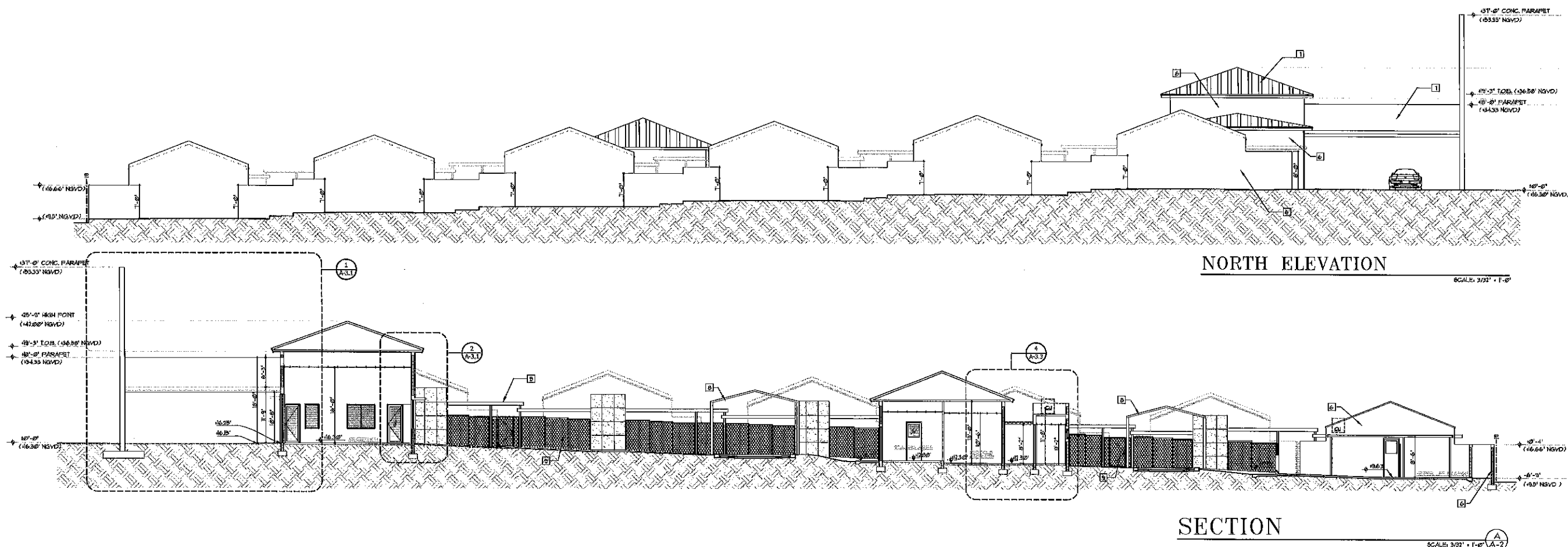
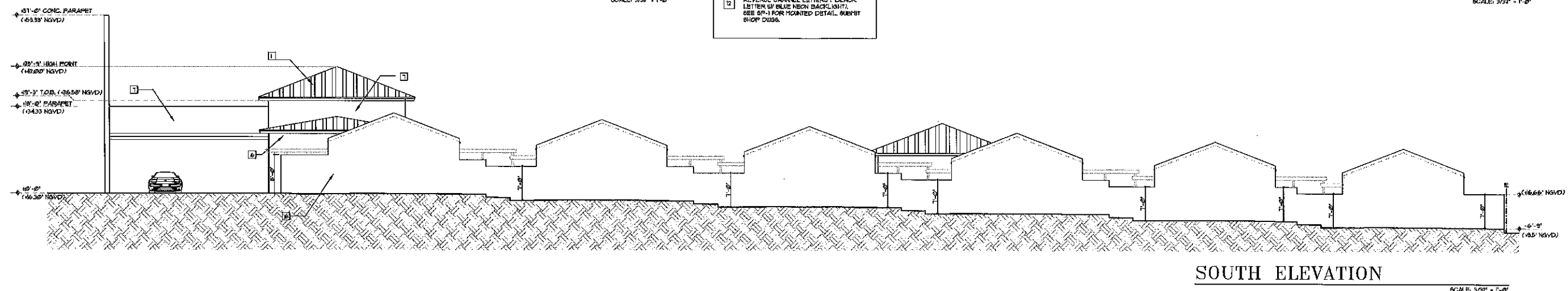
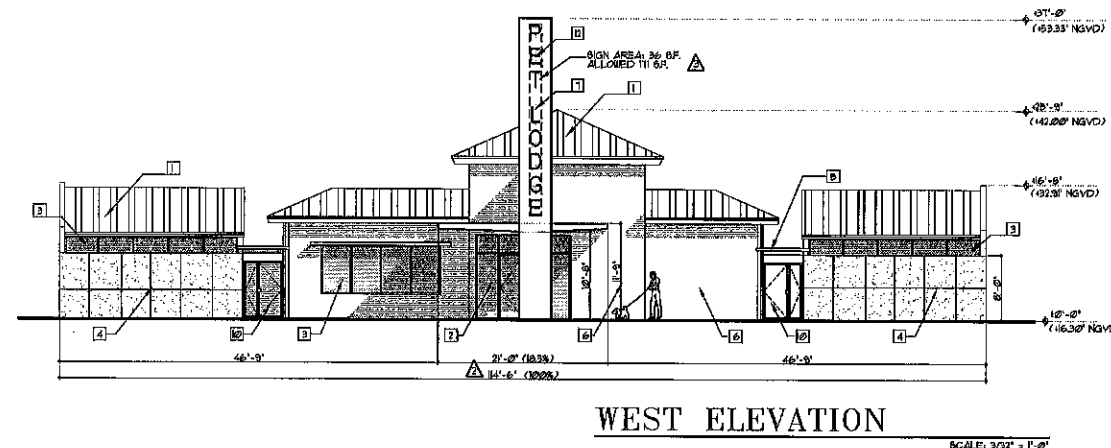
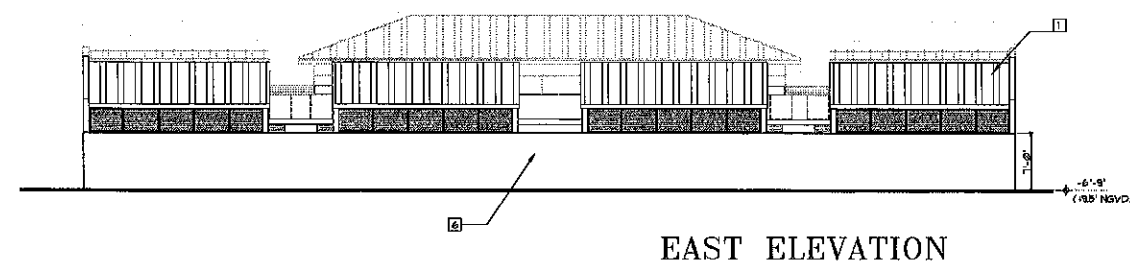
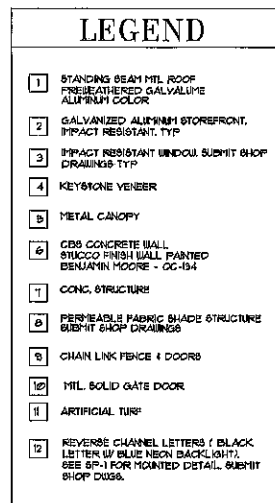
SEA

NEW BUILDING:  
AIRPORT PET LODGE  
AT:  
22604 Federal Highway

SHEI

A-2

OF



INTEGRATING SUPPLY CHAIN MANAGEMENT | JOURNAL OF APPLIED CORPORATE FINANCE | 3:25:23 PM, Carolina Acuña



# GUTIERREZ & LOZANO ARCHITECTS

2830 W. STATE ROAD 84, SUITE 117  
FT. LAUDERDALE, FL 33312  
PHONE: (954) 321-3442  
FAX: (954) 321-3864

## REVISIONS

NO.	DESCRIPTION

MANUEL GUTIERREZ  
STATE OF FLA. REG. NO. 8253

## SEAL

CARLOS LOZANO  
STATE OF FLA. REG. NO. 0014722

NEW BUILDING:  
AIRPORT PET LODGE  
AT:  
2604 Federal Highway  
Hollywood, Florida

## SHEET TITLE

WEST ELEVATION

SCALE: 3/32" = 1'-0"

JOB No.:

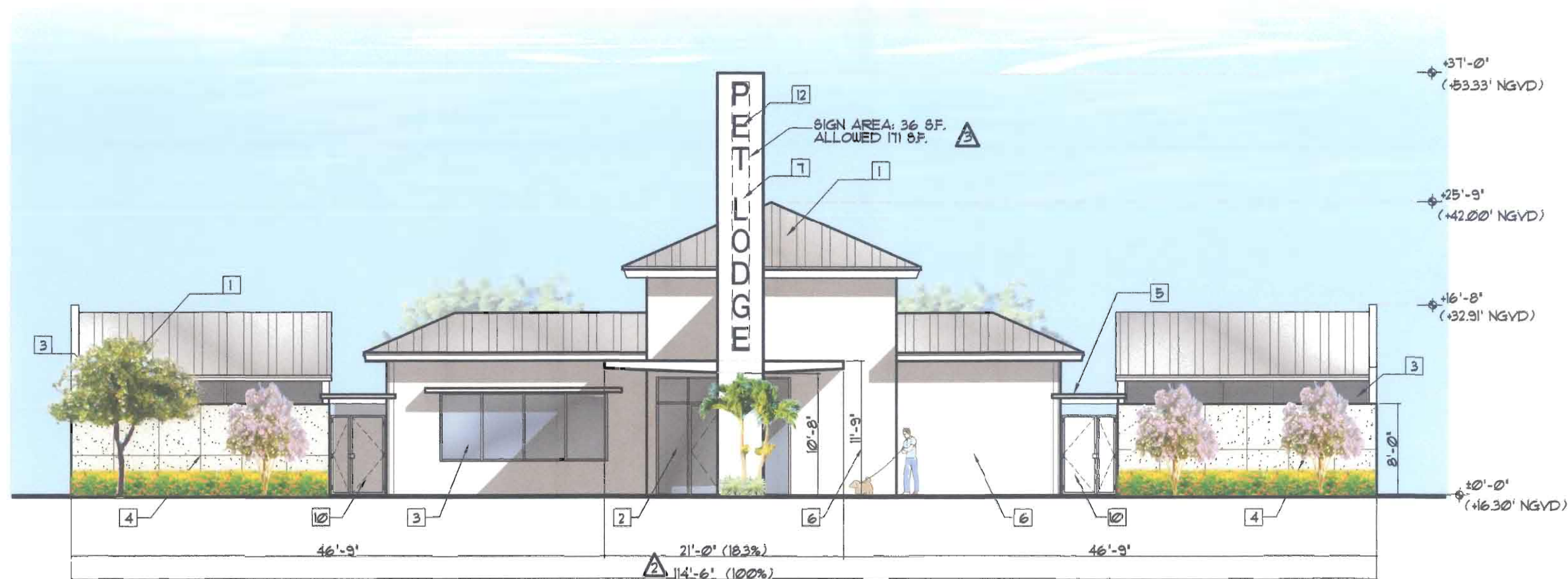
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SHEET

A-2.b

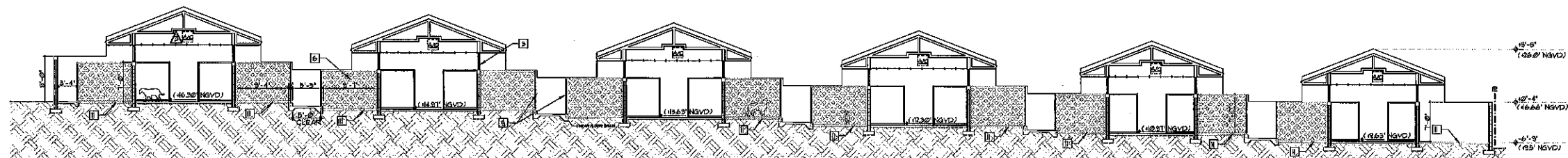
OF

PET LODGE



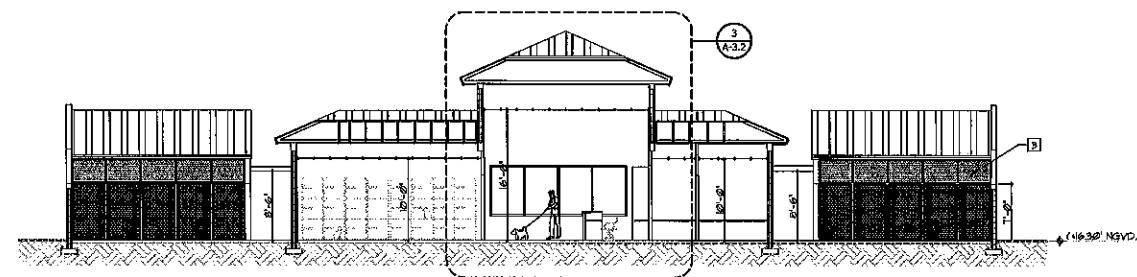
## WEST ELEVATION

SCALE: 3/32" = 1'-0"



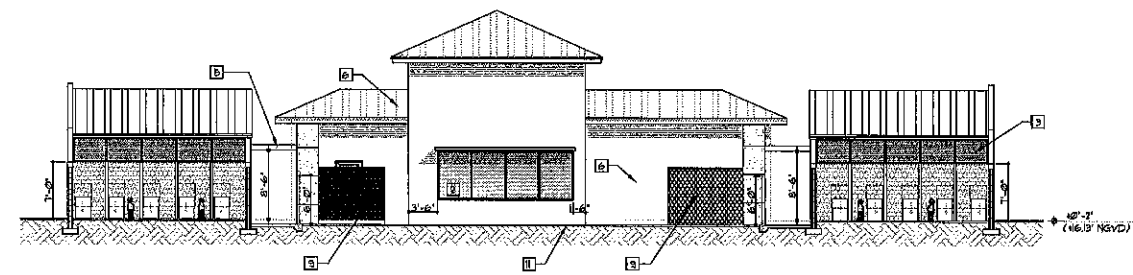
SECTION

SCALE: 3/32" = 1'-0" (A-3)



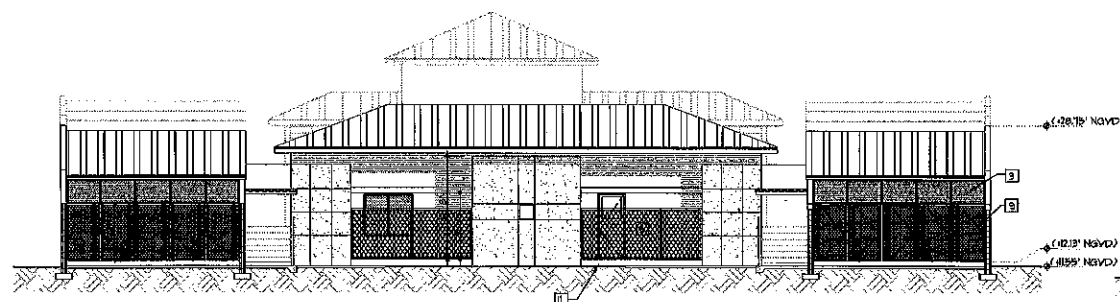
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SCALE: 3/32" = 1'-0"



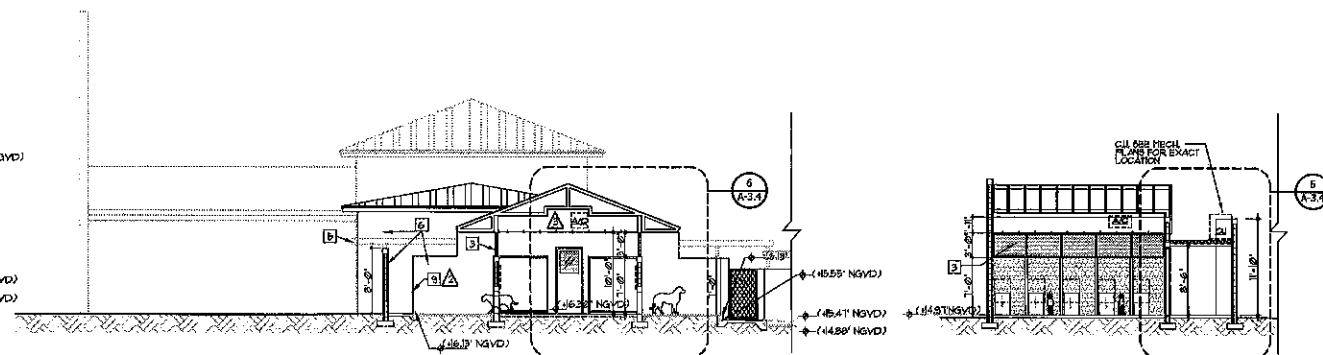
SECTION

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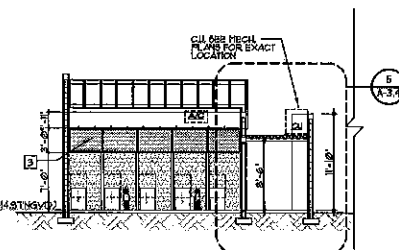
SECTION

SCALE: 3/32" = 1'-0" A-3



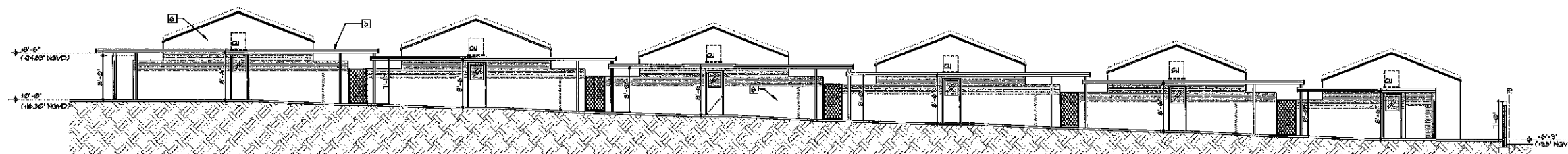
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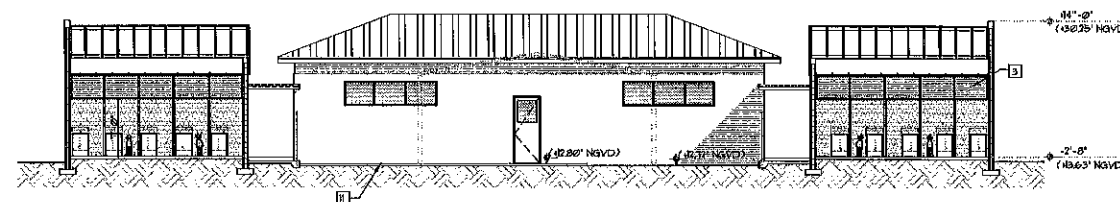
## SECTION

SCALE: 3/32" = 1'-0" (A-3)



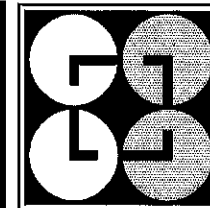
SECTION

$$AC4E: 3.02^{\circ} \times E - 0.1$$



SECTION

SCALE: 3/32" = 1'-0" (A-3)



GUTIERREZ  
& LOZANO  
ARCHITECTS

2830 W. STATE ROAD 84, SUITE 117  
FT. LAUDERDALE, FL. 33312  
PHONE: (954) 321-3442  
FAX: (954) 321-3864

REVISIONS		
⚠	TAC REV	01-12-11
⚠	TAC REV	08-19-11
⚠	REV. BY ARCH.	09-28-11

MANUEL GUTIERREZ ☐  
STATE OF FLA. REG. No. 8253

## SEAL

CARLOS LOZANO ☐  
STATE OF FLA. REG. No. 0014722

NEW BUILDING:  
AIRPORT PET LODGE  
AT:  
2804 Federal Highway  
Hollywood, Florida

SHEET TITLE :

## SECTIONS

SCALE: 3/32" = 1'-0"

JOH No.:

DATE: 4/26/11

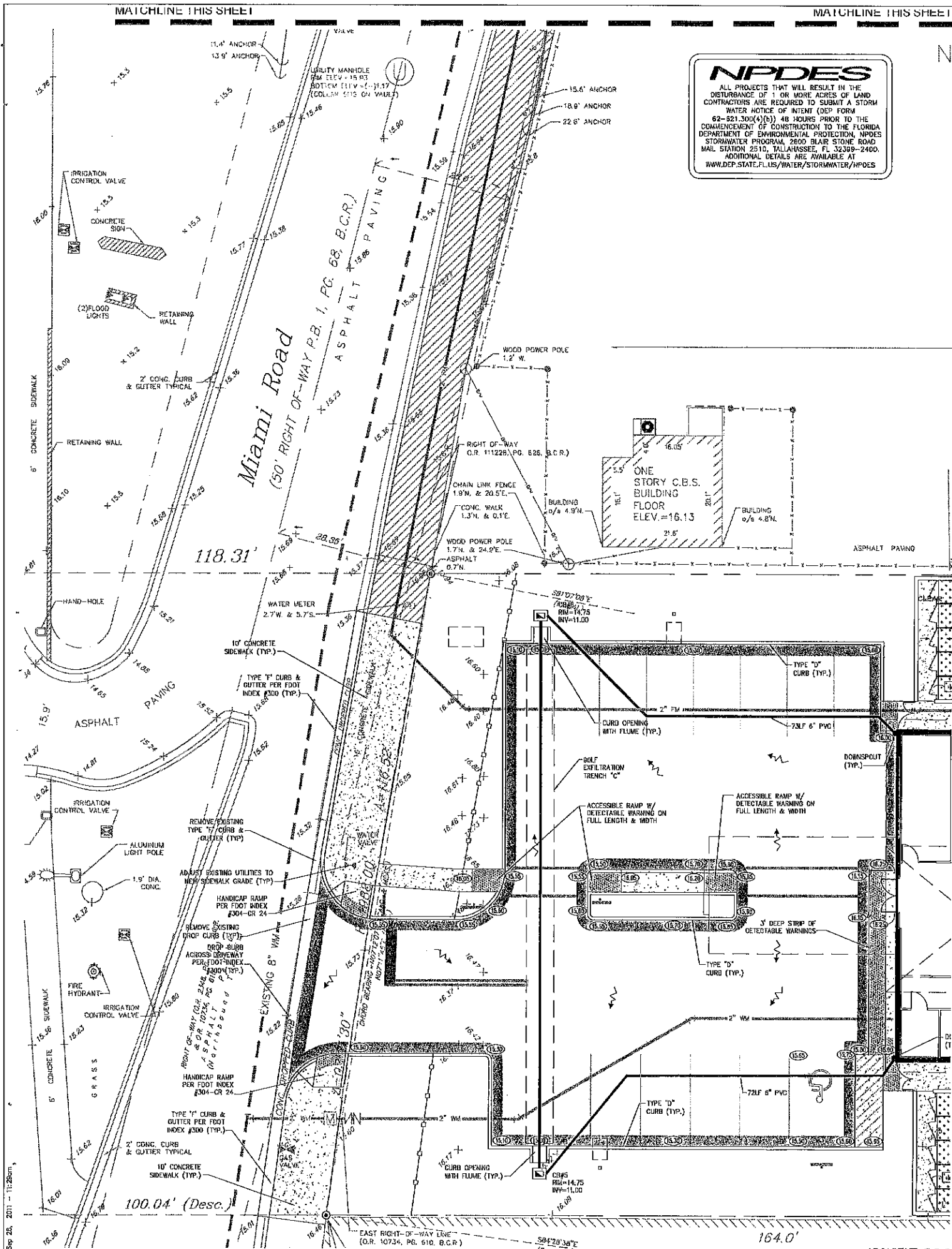
**SHEET**

A-3

OF

**PET LODGE**



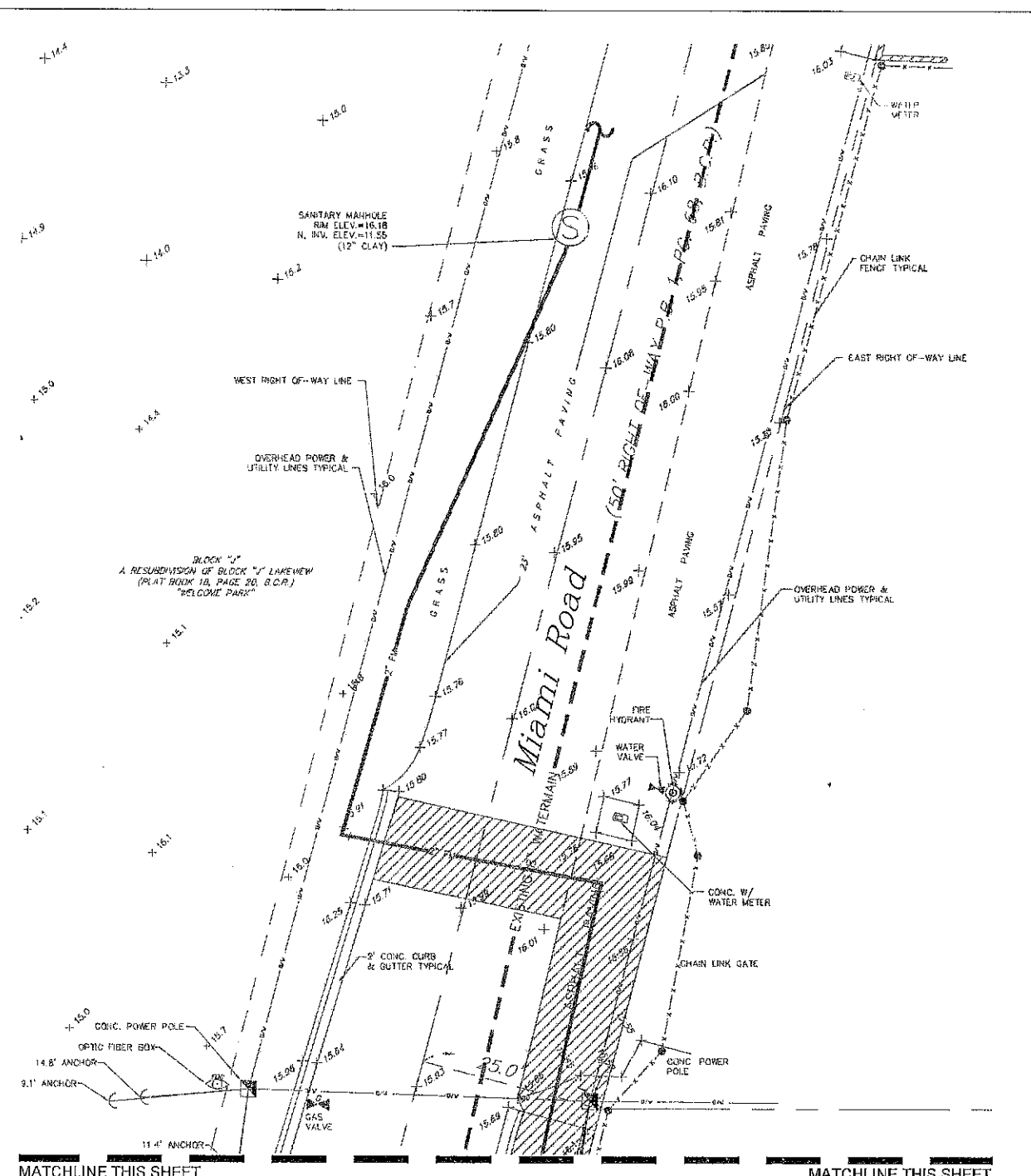


**NPDES**  
ALL PROJECTS THAT WILL RESULT IN THE DISTURBANCE OF 1 OR MORE ACRES OF LAND CONTRACTORS ARE REQUIRED TO SUBMIT A STORM WATER NOTICE OF INTENT (NOI) FORM 62-821.300(4)(b) 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION, NPDES STORMWATER PROGRAM, 2600 BLAIR STONE ROAD, MAIL STATION 2510, TALLAHASSEE, FL 32399-2400. ADDITIONAL DETAILS ARE AVAILABLE AT WWW.DEP.STATE.FL.US/WATER/STORMWATER/NPDES

MATCHLINE SHEET C-3.2

MATCHLINE SHEET C-3.2

MATCHLINE SHEET C-3.2



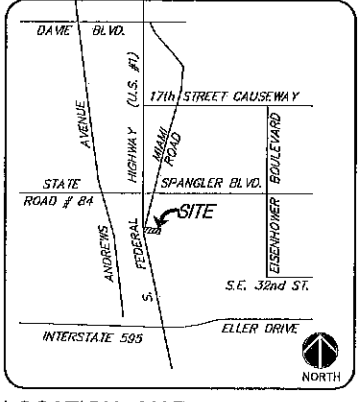
MATCHLINE THIS SHEET

MATCHLINE THIS SHEET

**GRADING AND DRAINAGE NOTES:**  
1. ALL STORM DRAINAGE LINE FROM THE BLDG SHALL BE LAID @ 1.0% MINIMUM SLOPE UNLESS NOTED OTHERWISE ON PLANS.  
2. CLEANOUTS ON STORM DRAINAGE LINES ARE TO BE ADJUSTED TO BE FLUSH W/ FINISHED GRADE.  
3. CONTRACTOR SHALL PROVIDE FITTINGS (VIBES, TEE, REDUCERS, ETC.) AS REQUIRED TO FURNISH A COMPLETE WORKING SYSTEM BASED ON THE LAYOUT SHOWN ON THESE PLANS.  
4. LANDSCAPED AREAS SHALL BE GRADED TO DRAIN TO THE CATCH BASIN INLETS. FIELD ADJUST GRADING AS REQUIRED.  
5. SITE UTILITY CONTRACTOR SHALL COORDINATE WITH THE BUILDING PLUMBING CONTRACTOR FOR EXACT LOCATION OF CONNECTION POINTS BETWEEN THE BUILDING AND SITE WATER, SEWER AND DRAINAGE LINES (VERTICALLY AND HORIZONTALLY).  
6. RECTANGULAR CATCH BASIN AND YARD DRAIN GRATES SHALL BE INSTALLED SUCH THAT THE LONG AXIS OF GRATE PARALLELS THE CLOSEST ADJACENT WALK, BLDG DRIVE WAY, PROPERTY LINE, OR ROADWAY.  
7. COORDINATE LOCATION IN FIELD OF ALL CATCH BASINS & YARD DRAINS WITH LANDSCAPE CONTRACTOR TO AVOID CONFLICTS.  
8. CENTERLINE OF YARD DRAINS @ BASE OF DOWN SPOUTS MUST ALIGN WITH CENTERLINE OF DOWN SPOUT PRIOR TO FINAL ACCEPTANCE BY OWNER. REFERENCE ARCH. PLANS FOR EXACT LOCATION OF DOWN SPOUTS.  
9. CONTRACTOR SHALL COORDINATE WITH THE ENGINEER & LANDSCAPE ARCHITECT TO FIELD ADJUST GRADING & UNDERGROUND PIPING AS REQUIRED TO PRESERVE EXISTING TREES TO REMAIN.  
10. CATCH BASINS LOCATED IN SWALES IN PARKING LOT SHALL BE CENTERED IN SWALE, UNLESS NOTED OTHERWISE.  
ELEVATIONS SHOWN ON THESE PLANS ARE BASED ON NATIONAL GRID TO VERTICAL DATUM OF 1929 (NGVD).

FLOOD ZONE "X" AND "AE" ELEV 7.0' ON FIRM MAP #201100307 F, DATE AUGUST 18, 1992  
BROWARD COUNTY 100 YEAR 3 DAY CONTOUR = ELEV. 7.00 NGVD  
BROWARD COUNTY 10 YEAR FLOOD CONTOUR = ELEV. 6.00 NGVD  
AVERAGE WET SEASON WATER LEVEL = ELEV. 2.00 NGVD

**LEGEND:**  
ELEV PROPOSED ARCHITECTS ELEVATION - SEE ARCHITECTS PLANS  
PROPOSED ELEVATION  
EXISTING ELEVATION  
PROPOSED CATCH BASIN  
PROPOSED PLUG  
TEE  
WATER METER  
DOUBLE DETECTOR CHECK W/ WATER CHECK VALVE ON DOWNSTREAM SIDE  
REDUCED PRESSURE BACKFLOW PREVENTOR  
DIRECTIONAL FLOW ARROW AND GRAVITY SEWER  
PROPOSED MANHOLE  
WATER MAIN  
SANITARY FORCE MAIN  
VALVE  
FIRE HYDRANT  
SHAMESE CONNECTION  
CLEANOUT OR RAINWATER LEADER  
EDGE OF PROPOSED PAVEMENT (ASPHALT)  
DIRECTION OF SURFACE DRAINAGE  
SAMPLE POINT  
EXIST. WATER MAIN  
EXIST. UTILITY LINE TO BE REMOVED  
ARTIFICIAL GRASS SURFACE



**LOCATION MAP**  
N.T.S.  
TWP. 50  
RNG. 42  
SEC. 23  
Scale: 1"=10.0'  
Date: 06/24/11  
Job No.: 10-0928.00  
Final Date: 09/28/11  
Drawn by: JMF  
Proj. Mgr.: JMF  
Appr. by: JMF  
Sheet No.: C-3.1  
3 of 9

**FES**  
FLYNN ENGINEERING SERVICES, P.A.  
CIVIL ENGINEERS

241 COMMERCIAL BLVD.  
LAUDERHURST BEACH, FL 33308  
PHONE: (954) 522-1004  
FAX: (954) 522-7630  
www.flynnengineering.com  
EB# 6578

Sheet Title

**PAVING, GRADING AND DRAINAGE PLAN**

Job Title

**AIRPORT PET LODGE**

2604 FEDERAL HIGHWAY  
HOLLYWOOD, FLORIDA 33318

Phase:

PERMITTING DOCUMENTS

Revisions

Scale: 1"=10.0'

Date: 06/24/11

Job No.: 10-0928.00

Final Date: 09/28/11

Drawn by: JMF

Proj. Mgr.: JMF

Appr. by: JMF

Sheet No.: C-3.1

3 of 9

# ATTACHMENT B

## Land Use and Zoning Map

# 2604 S Federal Highway



## PLANNING AND DEVELOPMENT SERVICES

### Legend

Streets



Subject Property

### Land Use



General Business



Transportation

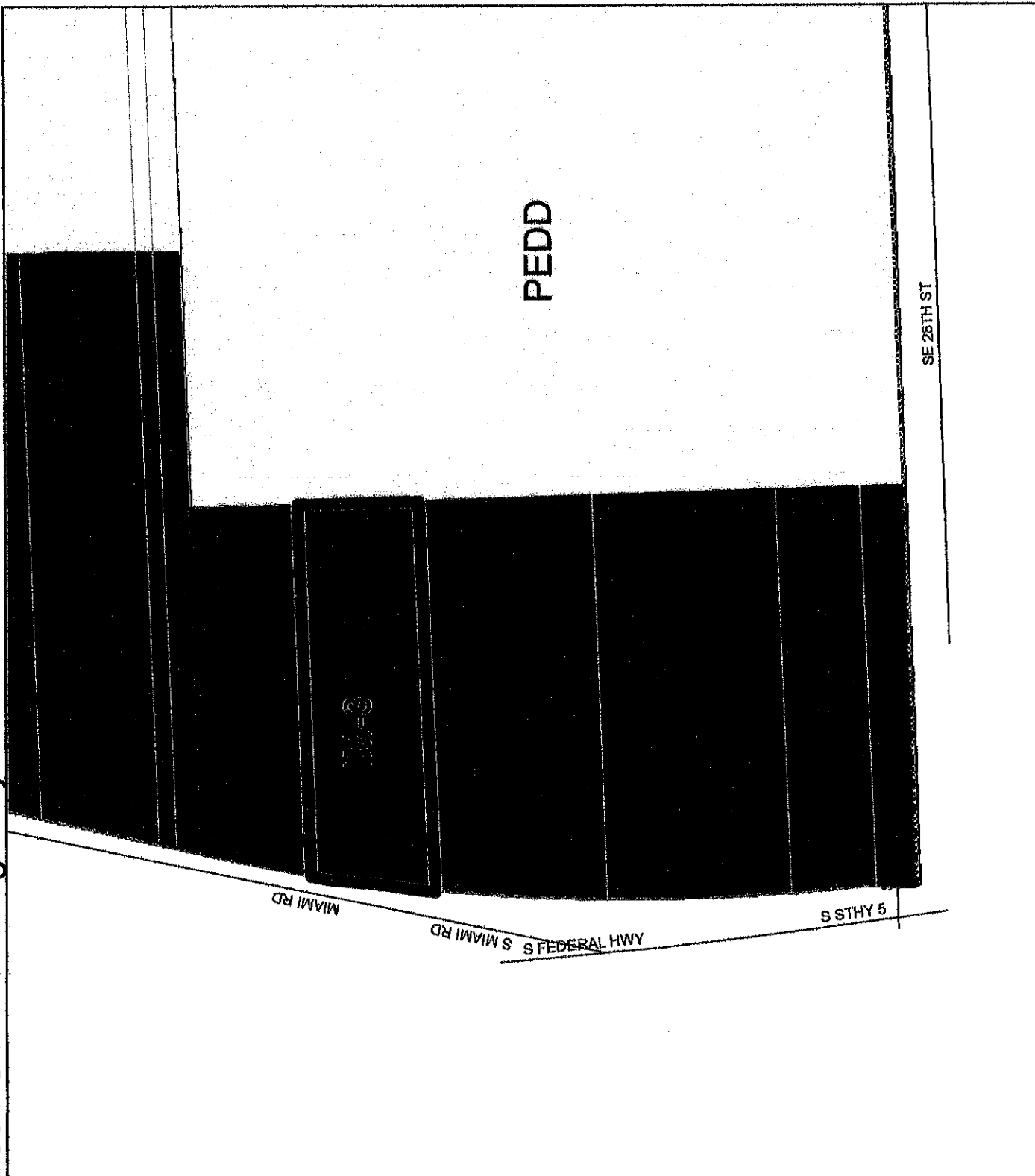
### Zoning



IM-3



PEDD



SE 28TH ST

MIAMI RD

S MIAMI RD S FEDERAL HWY

S ST HWY 5